



Regular Council Meeting
Tuesday, September 15, 2026 - 6:30 PM
AGENDA

1. Call to Order
2. Roll Call
3. Invocation
4. Pledge of Allegiance
5. Approval of Agenda
6. Presentation - Licking County Humane Society
7. Eagle Scout Presentation
8. Presentation - American Structure Point; OPWC application Williams Street
9. Citizen comments on matters not on the agenda
10. Council Committee reports
 - a. **Design Review Board:** 9/8/26 canceled; Next 9/22/26 @ 5:30 pm council chambers
 - b. **Planning & Zoning:** Met 9/8/26; Next 9/22/26 @ 6:30 pm council chambers
 - c. **Finance:** 9/15/26; Next 10/20/26 @ 5:30 pm council chambers
 - d. **Safety & Service:** Next 10/6/26 @ 5:30 pm council chambers
11. Director Reports
 - a. Police Chief
12. Temporary Use Permit Application; 11943 Johnstown-Utica Rd.
 - a. Application & Staff Report
13. Tabled Legislation - None
14. Public Hearings of Legislation
 - a. **ORDINANCE 17-2026** AN ORDINANCE TO AMEND CHAPTER 1147 OF THE CITY'S CODIFIED ORDINANCES. *Public Hearing held September 1, 2026. Vote September 15, 2026.*
 - b. **RESOLUTION 2026-39** A RESOLUTION APPOINTING MEMBERS TO THE JOHNSTOWN NEW COMMUNITY AUTHORITY BOARD OF TRUSTEES. *Introduction/Public Hearing/Vote September 15, 2026.*
15. Introduction of Legislation
 - a. **ORDINANCE 19-2026** AN ORDINANCE AUTHORIZING AND DIRECTING STAFF TO OBTAIN AND UTILIZE A CLOUD-BASED PLATFORM TO MANAGE THE CITY'S FINANCIALS AND BUDGETING. *Introduction only. Public Hearing/Vote October 6, 2026.*
16. Other Business
17. Adjourn

Next Council Meeting September 15, 2026



Patrol Statistics

	2024	2025													2026												
	TOTAL	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	TOTAL
Calls for Service	7003	511	296	340	234	226	313	349	328	334	307	423	389	4050	424	318	365	398	360	347	466	420					3098
Officer Initiated Calls	4930	346	150	187	98	77	156	192	202	172	145	274	244	2243	286	192	161	229	194	180	270	244					1756
Dispatched Calls	2071	165	146	153	136	149	157	157	126	162	162	149	145	1807	138	126	204	169	166	167	196	176					1342
Case Reports	246	18	25	16	24	13	14	24	15	23	23	21	9	225	15	17	21	33	24	16	18	29					173
Crash Reports	109	13	5	9	9	8	7	11	13	11	9	9	12	116	11	6	4	10	9	7	8	15					70
Arrests	28	1	0	2	1	1	0	1	1	4	1	2	1	15	0	0	3	0	1	2	1	9					16
Traffic Citatitons	428	63	36	96	35	16	28	46	34	28	32	40	30	484	40	17	27	46	33	29	44	35					271
Parking Citations	31	1	2	0	2	2	15	10	3	13	4	2	2	56	6	5	0	4	5	6	5	4					35
Business Checks	3002	168	6	6	9	5	10	3	10	5	7	6	6	241	61	53	27	30	17	19	46	55					308
House Checks	280	8	0	0	0	16	34	15	51	31	27	124	107	413	51	1	0	20	13	5	1	0					91
Traffic Crashes	160	14	7	11	13	12	10	13	14	15	14	11	14	148	14	7	8	11	13	15	17	20					105
Traffic Stops	832	119	79	148	57	21	40	67	67	51	54	62	48	813	72	56	56	77	57	53	73	74					518
Theft	73	6	6	6	2	5	9	7	6	3	2	5	4	81	4	4	4	7	5	1	5	3					33
Domestic Violence	58	3	1	1	5	5	1	4	6	9	5	8	5	53	5	2	3	6	9	4	1	5					35
Assault	17	0	1	1	0	2	2	1	0	1	1	0	1	10	0	0	2	2	2	2	2	1					11
OVI	5	0	0	1	0	0	0	0	0	1	0	0	0	2	0	0	1	0	0	0	0	2					3
Vandalism	54	3	4	0	4	1	5	2	2	0	2	1	0	24	6	1	4	2	0	0	1	2					16
Juvenile Complaint	45	4	7	12	5	9	4	2	5	5	3	2	6	64	1	2	8	13	15	3	5	4					51
Trespassing	19	2	2	1	1	1	1	1	4	4	5	3	1	26	0	1	2	0	6	0	2	2					13
Other Agency Assist	169	9	41	32	21	28	19	28	16	21	19	28	27	289	26	32	20	37	28	31	30	43					247
Warrant	17	1	0	1	1	1	0	0	0	1	0	1	1	7	0	0	1	0	1	1	1	4					8
Overdose	4	0	1	0	1	1	0	1	1	0	0	0	0	5	0	0	1	0	0	0	1	0					2
Suicide Threat	23	0	2	2	1	0	1	3	1	1	0	3	0	14	1	1	0	1	0	0	1	4					8
Alarm Drops	171	16	11	15	12	8	17	13	7	17	10	17	25	168	16	12	11	13	11	11	16	13					103
911 Hang Up/Misdial	235	22	19	12	15	11	14	32	15	21	12	10	16	199	17	13	17	13	15	23	19	20					137

Accident Statistics

	DATE	DAY	TIME	LOCATION	NON INJURY	INJURY	UNOCCUPIED	HIT SKIP	CAD #
1	1/2/2026	FRI	1559	W COSHOCTON ST @ WOODGATE DR	X				2026-0018
2	1/3/2026	SAT	605	W COSHOCTON ST @ N MAIN ST	X				2026-0023
3	1/6/2026	TUE	1100	E COSHOCOTN ST @ N MAIN ST	X				2026-0059
4	1/12/2026	MON	856	W COSHOCTON ST @ CLARK DR		X			2026-0142
5	1/13/2026	TUE	842	N MAIN ST @ 8	X				2026-0160
6	1/14/2026	WED	1755	W COSHOCTON ST @ 659	X				2026-0186
7	1/16/2026	FRI	1310	N MAIN ST @ W COSHOCTON ST	X				2026-0212
8	1/17/2026	SAT	1125	MINK ST @ 4817	X				2026-0221
9	1/19/2026	MON	1502	800 W COSHOCTON ST	X		X	X	2026-0262
10	1/22/2026	THU	940	W COSHOCTON ST @ CLARK DR	X				2026-0308
11	1/30/2026	FRI	1550	JOHNSTOWN UTICA RD @ 11891	X				2026-0413
11					10	1	1	1	
1	2/2/2026	MON	828	151 WOODGATE DR	X		X		2026-0437
2	2/5/2026	THU	1644	W COSHOCTON ST @ N MAIN ST	X				2026-0477
3	2/7/2026	SAT	1608	BIGELOW DR @ COTTONTAIL CT	X				2026-0496
4	2/19/2026	THU	744	N MAIN ST @ 121	X				2026-0623
5	2/22/2026	SUN	2143	W COSHOCTON ST @ 258	X				2026-0665
6	2/23/2026	MON	1623	W COSHOCTON ST @ S MAIN ST	X				2026-0676
6					6	0	1	0	
1	3/8/2026	SUN	0013	EDWARDS RD @ 209		X			2026-0819
2	3/9/2026	MON	1430	W COSHOCTON ST @ N MAIN ST	X				2026-0833
3	3/11/2026	WED	1130	S MAIN ST @ W JERSEY ST		X			2026-0860
4	3/31/2026	TUE	1738	800 W COSHOCTON ST	X		X	X	2026-1102
4					2	2	1	1	



	DATE	DAY	TIME	LOCATION	NON INJURY	INJURY	UNOCCUPIED	HIT SKIP	CAD #
1	4/11/2026	SAT	1245	N MAIN ST @ 8	X				2026-1259
2	4/14/2026	TUE	2130	800 W COSHOCTON ST	X				2026-1302
3	4/15/2026	WED	1208	S MAIN ST @ 18	X			X	2026-1313
4	4/17/2026	FRI	1922	W JERSEY ST @ S WILLIAMS ST		X			2026-1347
5	4/19/2026	SUN	1205	W COSHOCTON ST @ MEADOW LN	X				2026-1369
6	4/20/2026	MON	747	N OREGON ST @ EDWARDS RD		X			2026-1380
7	4/20/2026	MON	1645	W COSHOCTON ST @ 186	X				2026-1384
8	4/22/2026	WED	1120	W COSHOCTON ST @ 744	X				2026-1407
9	4/22/2026	WED	1431	W COSHOCTON ST @ 8	X				2026-1408
10	4/30/2026	THU	1656	S MAIN ST @ W COLLEGE AVE		X			2026-1505
10					7	3	0	1	

1	5/1/2026	FRI	835	E COSHOCTON ST @ N MAIN ST	X				2026-1511
2	5/8/2026	FRI	932	E COSHOCTON ST @ 429		X			2026-1589
3	5/11/2026	MON	1221	8 N MAIN ST	X			X	2026-1626
4	5/13/2026	WED	1838	E COSHOCTON ST @ 80	X				2026-1655
5	5/15/2026	FRI	1655	N WILLIAMS ST @ W COSHOCTON ST		X			2026-1678
6	5/20/2026	WED	1707	S MAIN ST @ CONCORD RD		X			2026-1735
7	5/21/2026	THU	653	E COSHOCTON ST @ SPORTSMAN CLUB	X				2026-1742
8	5/21/2026	THU	1347	JOHNSTOWN UTICA RD @ 11891	X				2026-1749
9	5/27/2026	WED	1636	E COSHOCTON ST @ N MAIN ST	X				2026-1818
9					6	3	0	1	

1	6/4/2026	THU	2027	S MAIN ST @ W JERSEY ST	X				2026-1906
2	6/5/2026	FRI	2003	383 W COSHOCTON ST			X	X	2026-1914
3	6/13/2026	SAT	2045	N MAIN ST @ W COSHOCTON ST	X			X	2026-2011
4	6/20/2026	SAT	1120	701 W COSHOCTON ST	X				2026-2107
5	6/22/2026	MON	1838	N MAIN ST @ W COSHOCTON ST	X				2026-2135
6	6/23/2026	TUE	626	W COSHOCTON ST @ 670	X				2026-2137
7	6/26/2026	FRI	1619	E COSHOCTON ST @ 425	X				2026-2178
7					6	0	1	2	

	DATE	DAY	TIME	LOCATION	NON INJURY	INJURY	UNOCCUPIED	HIT SKIP	CAD #
1	7/4/2026	SAT	1903	E COSHOCTON ST @ 112	X				2026-2274
2	7/13/2026	MON	1645	E COSHOCTON ST @ N MAIN ST	X				2026-2386
3	7/14/2026	TUE	842	W COSHOCTON ST @ CLARK DR	X				2026-2395
4	7/17/2026	FRI	1140	E COSHOCTON ST @ 429	X				2026-2443
5	7/18/2026	WED	755	W COSHOCTON ST @ 373	X				2026-2458
6	7/18/2026	WED	1754	EAGLES NEST AVE @ CROTON RD	X				2026-2463
7	7/28/2026	TUE	943	E COSHOCTON ST @ 429	X				2026-2626
8	7/28/2026	TUE	1626	W JERSEY ST @ 173	X				2026-2630
8					8	0	0	0	

1	8/2/2026	SUN	1625	W COSHOCTON ST @ WESTVIEW DR	X			X	2026-2710
2	8/12/2026	WED	1255	S MAIN ST @ 48	X				2026-2848
3	8/13/2026	THU	1318	BIGELOW DR @ W COSHOCTON ST	X				2026-2865
4	8/16/2026	SUN	1707	E COSHOCTON ST @ S MAIN ST	X				2026-2901
5	8/17/2026	MON	901	W COSHOCTON ST @ 233	X				2026-2910
6	8/17/2026	MON	1357	S MAIN ST @ W COSHOCTON ST	X				2026-2915
7	8/17/2026	MON	1814	N MAIN ST @ PERSHING DR	X				2026-2921
8	8/18/2026	TUE	1419	W JERSEY ST @ 470	X				2026-2926
9	8/22/2026	SAT	1051	E COSHOCTON ST @ 425	X			X	2026-2985
10	8/22/2026	SAT	1448	W COSHOCTON ST @ 8	X				2026-2986
11	8/25/2026	TUE	837	N WILLIAMS ST @ W COSHOCTON ST	X				2026-3025
12	8/25/2026	TUE	1916	S OREGON ST @ PHALEN PL	X				2026-3031
13	8/26/2026	WED	717	S WILLIAMS ST @ W COSHOCTON ST		X			2026-3043
14	8/28/2026	FRI	1525	N MAIN ST @ 267	X				2026-3070
15	8/31/2026	MON	2144	E COSHOCTON ST @ 539		X			2026-3104
15					13	2	0	2	

70	2026 TOTALS	58	11	4	8
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Temporary Use Permit Application

PAID

Fees: \$4,950.00 / SEP 10 2026
Fee of \$xxxx Paid: _____ Check/cash: # 6019948

The undersigned is applying for Temporary Use Approval; said approval to be issued on the basis of the information contained within this application. The applicant hereby certifies that all information and attachments to this application are true and correct and agrees to follow all applicable regulations, refer to **Chapter 1132**.

Applicant Name: Ohio Valley Excavating Phone: _____

Mailing Address 2316 SR122 Lebanon, Ohio 45036

Email address: _____

Property Owners (If different from Applicant): Johnstown Land Company LLC

Property address of proposed use: 11943 Johnstown-Utica Road Johnstown, Ohio

Zoning District: Boundaries recently redistricted Johnstown, Ohio 43031

Proposed duration of temporary use: 5 months 30 days
(not to exceed 6 months)

In addition, the following items must accompany this application:

1. A site plan, drawn to scale, illustrating the location of proposed structures, parking areas, ingress/egress for vehicles and pedestrians, setbacks from all property boundaries, and where materials will be staged/stored.
2. Plans/specifications for any temporary structures including utility connection points (as applicable).
3. Topography map indicating contours as well as any water bodies or intermittent streams and/or stands of trees. Any planned grading must be indicated on this map, as well as any changes or obstructions to water flow.
4. Specifications/photographs of materials that will be used to prepare the site for temporary use including, but not limited to, vehicular/pedestrian circulation materials, visual screening products, lighting, access control, and site security.
5. Signed owners' authorization form allowing the applicant to utilize said property for the intended temporary use and timeframe.
6. For undeveloped sites, proof of performance bond (or ability to secure at time of approval) to return the site to original condition prior to the commencement of the temporary use.

Review Process. See Chapter 1132.07 for review and approval procedures.

I certify the information contained in this application and attachments is true and accurate.

Applicant's signature: _____ Date: ____/____/____

Office use only: Date received in office: 7 / 27 / 26
City Manager review (within 10 business days of receipt): ____/____/____

Manager recommendation to the Planning and Zoning Commission:

Approval ☒ Denial _____

Recommended conditions of approval or reasons for denial:

See Planner Staff report completed 8/25

Planning Commission review (within 10 business days): 9 / 8 / 26

Planning Commission recommendation to City Council:

Approval ☒ Denial _____

Recommended conditions of approval or reasons for denial:

Recommend conditions 1 & 2 listed in the Staff report attached

Permit forwarded to City Council for review: 9 / 15 / 26

Permit was approved on date: ____/____/____

Conditions placed if any:

Permit was denied on date: ____/____/____

Mayor Signature: _____

CITY OF JOHNSTOWN, LICKING COUNTY

11943 JOHNSTOWN-UTICA RD

LOCATED AT THE NWC OF JOHNSTOWN-UTICA RD & ENTERPRISE DR

LAYDOWN YARD SITE PLAN

Plans Prepared By:



TT ENG: BRENDEN MONAHAN
PHONE: 619.857.5588
E-MAIL: bmonahan@congruex.com
<http://www.congruex.com>



LOCATION MAP
NOT TO SCALE

FOR REFERENCE ONLY

INDEX OF SHEETS

- COVER SHEET
B.1 SWPPP DETAILS
B.2 SWPPP DETAILS
C.1 PLAN VIEW (1" = 60')

NOTES:

ALL EXISTING AND PROPOSED CONDITIONS ARE BASED ON INFORMATION PROVIDED BY OTHERS. CONGRUEX CANNOT BE RESPONSIBLE FOR THE ACCURACY OF INFORMATION AND/OR PLANS PROVIDED BY OUTSIDE PARTIES. FACILITY LOCATIONS, DEPTHS AND ELEVATIONS SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.

PROPOSED DESIGN MODIFICATIONS ARE RECOMMENDATIONS ONLY AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.

PERMITS REQUIRED: ☒ YES ☐ NO

☒ CITY:
☐ COUNTY:
☐ STATE:
☐ RAILROAD:
☐ PIPELINE:
☐ DNR:
☐ MISCELLANEOUS:

CUTS REQUIRED: ☐ YES ☐ NO
☐ FIBER OPTIC
☐ COPPER

MIGRATIONS REQUIRED: ☐ YES ☐ NO

PRECONSTRUCTION MEETING DATE:
EXPECTED ROADWAY CONSTRUCTION START DATE:



REV.	DATE
—	—
—	—
—	—
—	—
—	—
SHEET 1 of 4	
DATE: Aug 25, 2026	

GENERAL NOTES

CONTRACTOR RESPONSIBILITY:

Details have been provided on the plans in an effort to help the Contractor provide erosion and sedimentation control. The details shown on the plan shall be considered a minimum. Additional or alternate details may be found in the Ohio EPA manual "Rainwater and Land Development." The Contractor shall be solely responsible for providing necessary and adequate measures for proper control of erosion and sediment runoff from the site along with proper maintenance, inspection, and in some cases, reconstruction in compliance with the NPDES General Permit for Stormwater Discharges Associated with Construction Activity

CONTRACTOR'S RESPONSIBILITIES:

Prior to Construction Operations in a particular area, all sedimentation and erosion control features shall be in place. Field adjustments with respect to locations and dimensions may be made by the Engineer, Inspector, and/or the Ohio EPA.

The Contractor shall replace inlet protection for erosion control immediately after construction in the immediate area of the catch basins or inlets has occurred.

The Contractor shall be responsible for having the current Stormwater Pollution Prevention Plan immediately available or posted on site.

The Contractor shall be responsible for ensuring that off-site tracking of sediments by vehicles and equipment is minimized. All such off-site sediment shall be cleaned up daily.

The Contractor shall be responsible for ensuring that no solid or liquid waste is discharged into stormwater runoff. Untreated sediment-laden runoff shall not flow off of site without being directed through a control feature. Concrete trucks will not be allowed to wash out or discharge surplus concrete into or alongside rivers, streams, or creeks or into natural or man-made channels or swales leading thereto. Concrete wash water and surplus concrete shall be confined to approved areas; after solidifying, these waste materials shall be removed from the site.

The Contractor shall remove all temporary erosion and sedimentation controls upon permanent stabilization of the site.

It may become necessary to remove portions of the sedimentation and erosion control features during construction to facilitate the grading operations in certain areas. However, the sedimentation and erosion control features shall be in place in the evening or during any inclement weather.

All Temporary and Permanent seeding shall be completed using the requirements indicated under item 659. The cost for temporary channels, sediment dams, sediment basins, and other appurtenant earthmoving operations shall be included in the price bid for the project.

MAINTENANCE: It is the Contractor's responsibility to maintain the sediment control features used on this project. The site shall be inspected at a minimum of once per every 7 days and within 24 hours of a 0.5 inch 24 hr. rainfall event or greater. Records of these inspections shall be kept and made available to jurisdictional agencies if requested. Any sediment or debris which has reduced the efficiency of a structure shall be removed immediately. Should a structure or feature become damaged, the Contractor shall repair or replace at no additional cost to the City.

REPLACEMENT: Due to the anticipated duration of this project, the sediment control features are likely to deteriorate past working condition. Any structures or features deemed insufficient beyond repair by the Engineer, Columbus or the EPA will need to be replaced at the contractor's expense.

TEMPORARY AND PERMANENT SEEDING:

All areas not designated to be disturbed shall remain under natural ground cover. Those areas disturbed outside the seeding limits shall be seeded and mulched at the Contractor's expense.

"Temporary Seeding:" Disturbed areas that are to remain idle for more than 14 days shall be temporarily seeded and mulched within seven (7) days of the most recent disturbance of the area. Disturbed areas within 50 feet of a stream and not at final grade shall be stabilized within two (2) days of the most recent disturbance. Disturbed areas that are to remain idle over the winter shall be stabilized prior to the onset of winter weather. Temporary seeding shall consist of fertilizing, watering, and mulching at the rates indicated under the 659 items. Seed mix and application rates are indicated within the SWPPP. Seeding shall consist of a ryegrass mix, applied between March 1 and November 1. Straw mulch only will be used to temporarily stabilize areas between November and March.

"Permanent Seeding:" Areas that are at final grade shall be permanently seeded within seven (7) days of reaching final grade within that area. Areas at final grade within 50' of a stream shall be seeded within two (2) days of reaching final grade. Areas that are to lie dormant for one (1) year or more shall be seeded within seven (7) days of the most recent disturbance. Permanent seeding shall be done between March 15 and October 15. If seeding is done between October 15 and March 15, it shall be classified as "Temporary Seeding." Permanent seed shall be 40% Kentucky Bluegrass, 40% Creeping Red Fescue, 20% Annual Ryegrass. Permanent seeding shall consist of fertilizing, watering, seeding and mulching at the rates indicated under the 659 items.

TEMPORARY SOIL AND SEDIMENT CONTROL

The following estimated quantities are to be used as contingencies to the quantities directly shown on the plans. The City must authorize the use of these contingent items. The City may add these quantities to the contract for additional erosion and sedimentation control measures throughout the project.

CMSC 207	Perimeter Sediment Fence	8,650 LF
CMSC 207	Construction Seeding and Mulching	96,415 SY

All erosion and sediment practices are subject to field modifications at the discretion of the City of New Albany and/or the Ohio EPA.

All disturbed areas, which will remain unworked for 14 days or more, shall be seeded. The Contractor shall be responsible for the removal of all temporary sediment control devices at the conclusion of the construction but not before growth of permanent ground cover is established. The Contractor shall provide adequate drainage (consistent with sediment/erosion control practices) of the work area at all times.

Complete information for erosion and sediment control measures are detailed in the Stormwater Pollution Prevention Plan (SWPPP).

SOIL STOCKPILES

All soil stockpiles, including trench excavation stockpiles shall be protected from erosion by perimeter control devices such as straw bale dikes or silt fences. These perimeter control devices shall be maintained throughout the life of the project. Excavated materials shall not be stored on existing public roadway pavements. This includes excess or unusable excavated soil.

STORM SEWER INLET PROTECTION

All storm sewer inlets shall be protected from excessive amounts of sediments. These devices shall be maintained until the denuded area has been stabilized, or as directed by the Engineer. Straw or hay bales are not approved for inlet protection.

CONSTRUCTION DRAINAGE, DEWATERING AND GROUNDWATER CONTROL DISCHARGES

The Contractor shall comply with all requirements of Federal Water Pollution Control Act, as amended (33 U.S.C. 1251 et. seq.), and the Ohio Revised Code Chapter 6111. The Owner has submitted a Notice of Intent from and received a permit from the Ohio E.P.A. for storm water discharges from this project. The Contractor shall at all times comply with the provisions of the Notice of Intent from and Stormwater Discharge Permit.

- All such flows are to be settled in sedimentation basins or directed through approved filters before discharge to stabilized sites, such as streams or storm sewers. Discharge shall not be made onto exposed soils, stream banks or any other sites, where the flow could cause erosion.
- Silt from construction operations shall not be permitted to enter the storm sewer system. When construction occurs near storm sewer inlets, erosion control measures such as inlet filters shall be used to prevent silt from entering the storm sewers.
- Convey water from the construction site in a closed conduit. Do not use trench excavations as temporary drainage ditches.

TRENCH AND GROUNDWATER DEWATERING

All trench dewatering shall be passed through a sediment impoundment structure or device. Adequate outlet protection must be provided for each impoundment. There shall be no turbid discharges to the stream resulting from dewatering. If any groundwater dewatering should occur, the Contractor shall contact the Ohio Department of Natural Resources, Division of Water, to assure proper well installation and abandonment and a water withdrawal registration. The Contractor shall not direct the groundwater to the impoundment intended for trench water.

The Contractor shall ensure groundwater discharges do not result in deposits of iron in the receiving stream.

The following performance standards have been established for groundwater discharges:

- TSS - 45 mg/L (7 days), 30 mg/L (30 days)
- PH - 6.5-9.0
- Receiving Stream - Qualitative evidence of iron deposits
- Receiving Stream - Qualitative evidence of thermal impacts

EROSION AND SEDIMENT CONTROL NARRATIVE

ALL EROSION & SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATION AT THE DIRECTION OF THE CITY OF NEW ALBANY AND/OR OHIO EPA.

DESIGNER:

City of New Albany
Department of Public Service
7800 Bevellymyer Road
New Albany, OH 43054
Ph: (614) 855-0076

SITE CONTACT:

PROJECT DESCRIPTION:

The project consists of approx. 18,767 LF of 48-in gravity sewer, and 2,053.5 LF of 42-in gravity sewer. The project area is tributary to Blacklick Creek and various other unnamed streams. The project will result in a disturbed area of approximately 50 acres.

EXISTING SITE CONDITIONS:

Mixed land use comprised of mainly road corridor, open fields, and limited wooded areas.

RECEIVING STREAM:

Blacklick Creek

ADJACENT AREAS:

Rural Residential

CRITICAL AREAS:

The discharge of sediment laden runoff to the adjacent ditch/creek is prohibited at all sites. All water collected by dewatering the utility trench shall be considered sediment laden and shall not be directly discharged into adjacent ditch/creek.

EROSION AND SEDIMENT MEASURES:

Erosion and sediment will be controlled by the use of inlet protection, sediment fence, dewatering traps, swales, temporary and permanent seeding.

PERMANENT STABILIZATION:

All disturbed areas shall be seeded and mulched per CMSC 659.

MAINTENANCE:

All erosion control devices are to be inspected by the construction superintendent daily and after rainfalls. Any damaged facilities are to be replaced/repared immediately as may be necessary.

CONSTRUCTION SEQUENCE:

- The Contractor shall place the required stabilized construction entrances, sediment fence, inlet protection on existing structures and all other erosion control measures noted hereon prior to any construction activity in accordance with the plan details.
- The Contractor shall perform clearing, site earthwork operations and installation of the sewers as delineated within the plans. Provisions for inlet protection shall be established as referenced by the details shown on this sheet. The Contractor shall refer to the trench and groundwater dewatering requirements identified on this Sheet if dewatering activities are necessary during the sewer installation.
- The Contractor shall place seeding and mulching as necessary to reestablish all denuded areas.
- The Contractor shall properly maintain all erosion and sediment control at all times during the construction operations.
- The Contractor shall remove and dispose of the erosion control devices only after all areas have been properly restored per plans. After removal of the erosion control devices, the Contractor shall clean all inlets and storm sewer pipes of all sediment & debris incurred during construction.
- Upon permanent stabilization of the site (>90%), remove the temporary sediment control structures

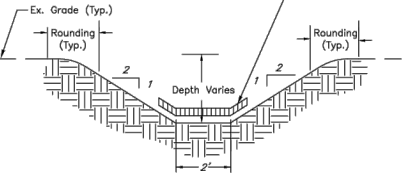
SCHEDULE:

The Contractor shall provide a schedule of operations to the City. Sedimentation and erosion control features shall be placed and maintained in accordance with this schedule.

TYPICAL SWALE SECTION

Scale: None

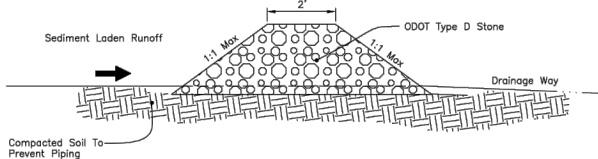
Provide Seeding and Erosion Control Blanket, Type C per CMSC Item 671 for a 12' width through limits of the ditch. Blanket shall be placed in accordance with CMSC Item 671.03.



Temporary seeding and blanket placement of the swales (Ditches) shall be performed immediately after construction of same.

ROCK CHECK DAM

Scale: None



AGGREGATE CHECK DAM DRAINAGE WAY

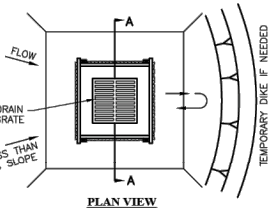
NOT TO SCALE

MAINTENANCE:

- Aggregate check dams shall be inspected immediately after each rainfall and at least daily during prolonged rainfall.
- Close attention shall be paid to the repair of damaged check dams, end runs and undercutting beneath dams.
- Necessary repairs to check dams shall be accomplished promptly.
- Sediment deposits should be removed after each rainfall. They must be removed when the level of deposition reaches approximately one-half the height of the barrier.
- Any sediment deposits remaining in place after the aggregate is no longer required shall be dressed to conform to the existing grade, prepared and seeded.
- Provide a sediment Barrier Filter Fabric to the Check Dams.

FILTER FABRIC INLET PROTECTION

Scale: None

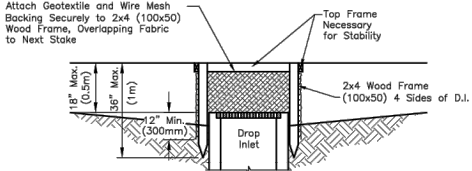


NOTES:

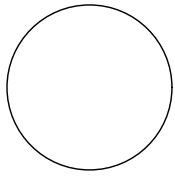
- Drop Inlet Sediment Barriers are to be used for small, nearly level drainage areas. (less than 5%)
- Use 2"x4" (100x50mm) wood or equivalent metal stakes, 3' (1m) minimum length.
- Install 2"x4" (100x50mm) wood top frame to insure stability.
- The top of the frame (panding height) must be well below the ground elevation downslope to prevent runoff from bypassing the inlet. A temporary dike may be necessary on the downslope side of the structure.
- Wire mesh backing shall be of sufficient strength to support the geotextile fabric with runoff fully impounding against the structure.
- The geotextile shall have an equivalent opening size of 20-40 sieve and be resistant to sunlight.
- Backfill shall placed around the inlet and compacted to ensure that runoff will not undercut the fabric.

MAINTENANCE:

The filter fabric shall be cleaned with a stiff broom. Assume that the filter fabric and geotextile is securely fastened to the frame of the structure. Backfill around the structure shall be compacted as needed to assure that runoff is not undercutting the structure.



TT ENG: BRENDEN MONAHAN
PHONE: 619.857.5588
E-MAIL: bmonahan@congruex.com
http://www.congruex.com



CITY OF NEW JOHNSTOWN, LICKING COUNTY
11943 JOHNSTOWN-UTICA ROAD
LOCATED AT THE NWC OF JOHNSTOWN-UTICA RD & ENTERPRISE DR

LAYDOWN YARD SITE PLAN

DETAILS

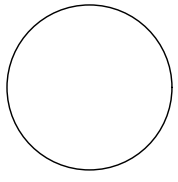
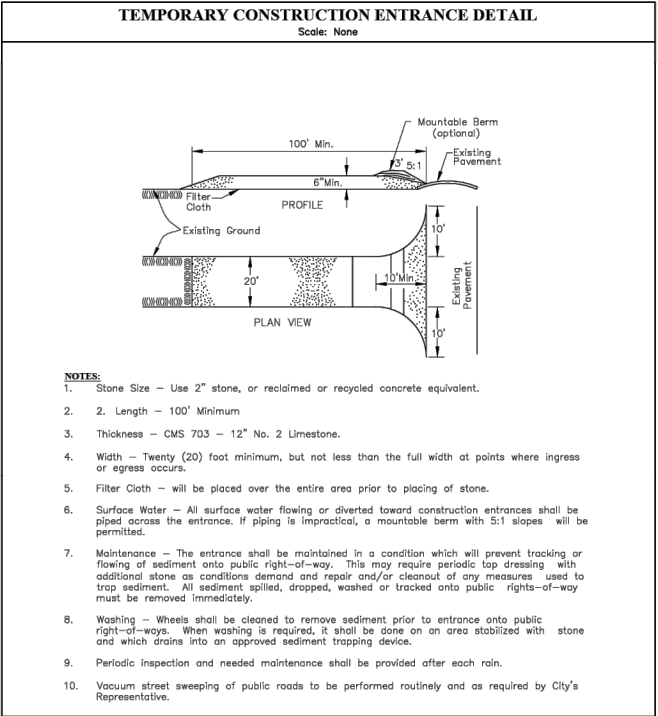
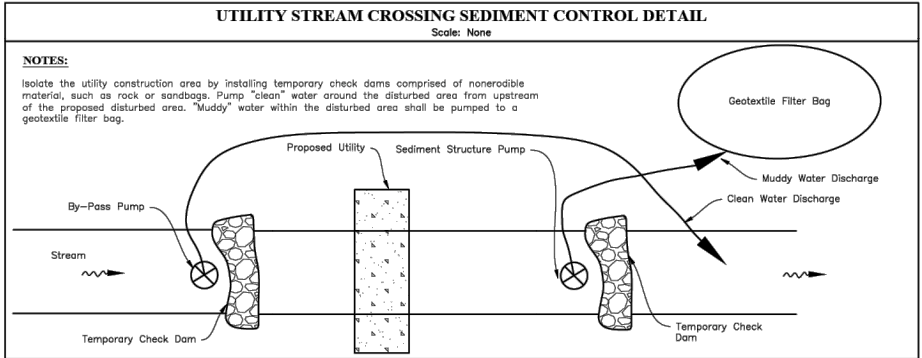
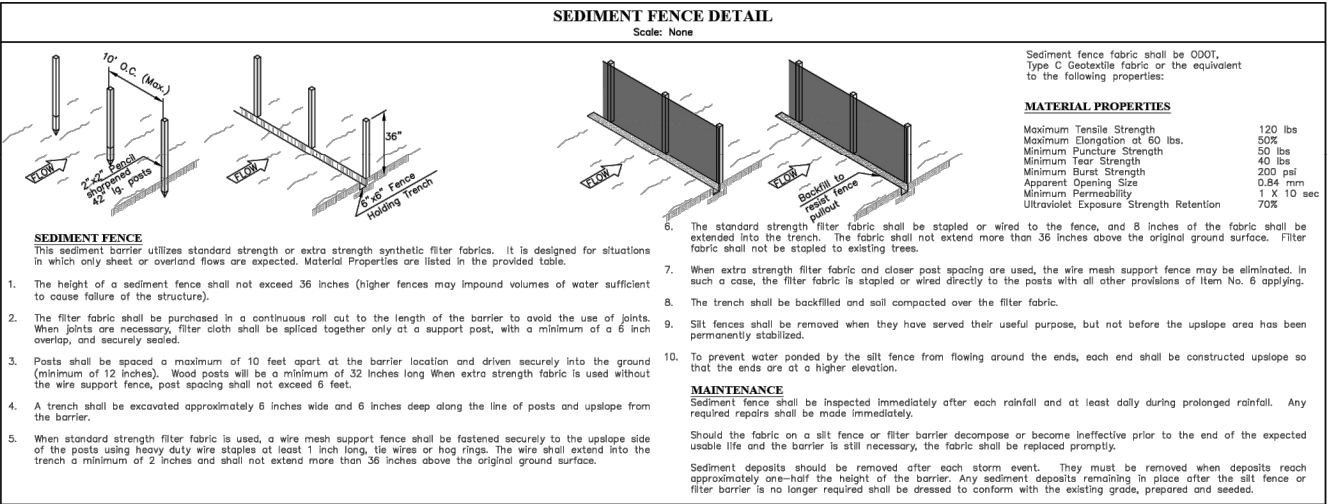
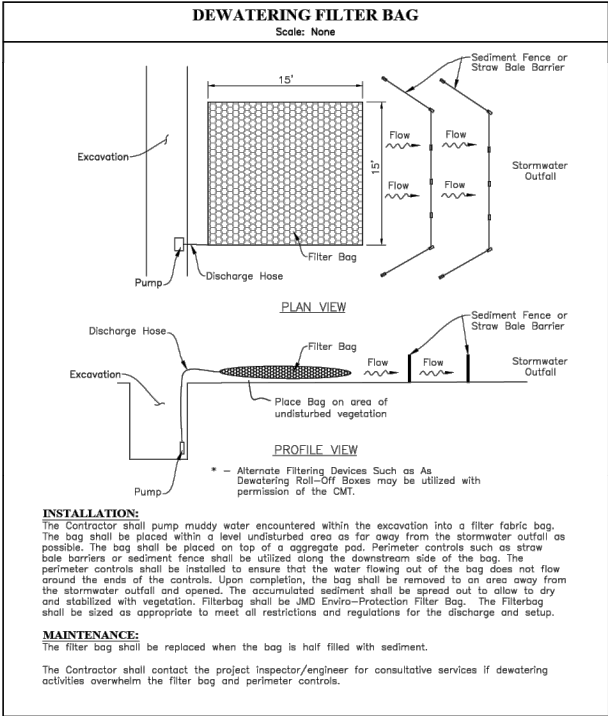
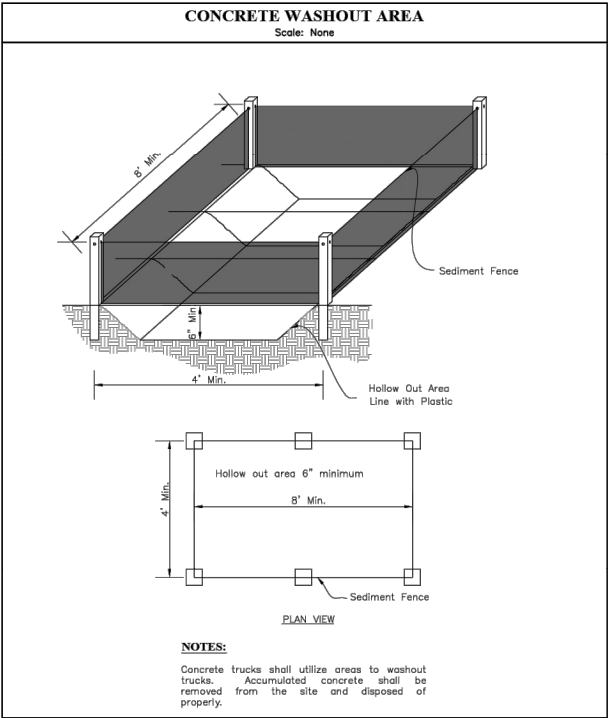
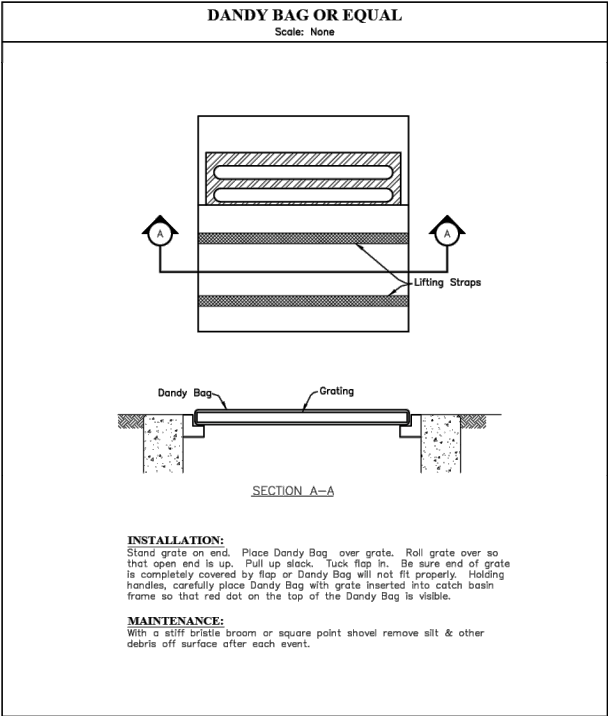
Date: Aug 25, 2026

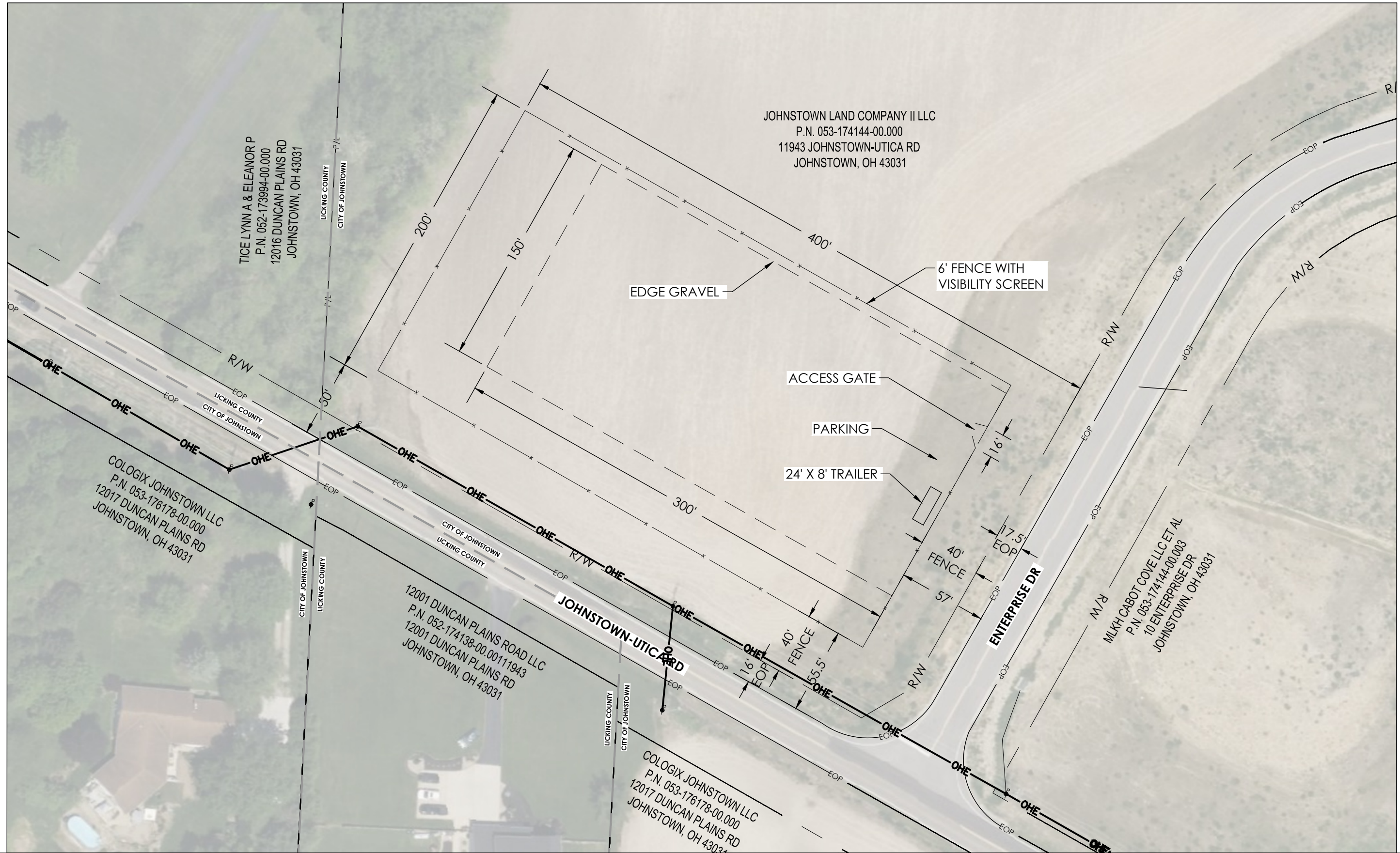
File: JohnstownLaydown.dwg

Sheet

B.1

Sheet 2 of 4





PLANNING STAFF REPORT

Temporary Use Permit

INTRODUCTION

To: City Council and Planning and Zoning Commission

Reviewer: Johnstown Planning Staff

Applicant: Ohio Valley Excavating

Request: Utilize a property as a Construction Yard – Off Site in a temporary manner.

Recommendation: Consider the proposal and determine compliance with applicable guidelines and regulations. See page 3 for a detailed recommendation.

PROPERTY LOCATION MAP

Figure 1 | Property Location Map



Figure 2 | Temporary Use Location Map



PROPERTY INFORMATION

Property Location:	11943 Johnstown Utica Road	Comp Plan Land Use Designation:	Employment
Property Owner:	Johnstown Land Company II LLC	Existing Zoning Designation:	General Community Commercial (GCC-2)/Planned Unit Development (PUD)

BACKGROUND INFORMATION

The applicant is requesting a Temporary Use Permit to utilize an approximately 1.65-acre portion of a parcel as an off-site construction yard, which is proposed within the PUD portion of the parcel. The parcel is 46.72 acres in size. The site plan submitted with the application indicates one temporary 24' x 8' storage trailer and one staging and parking area for equipment and materials surrounded by a 6' fence with a visibility screen.

CRITERIA FOR EVALUATION OF APPLICATION FOR TEMPORARY USE PERMIT (CHAPTER 1132.07)

The City's Codified Ordinances establish multiple criteria that must be evaluated when considering a Temporary Use Permit. Specifically, Chapter 1132.07 of the Codified Ordinances states: "The City Manager, or their designee, shall recommend to approve, approve with conditions, or deny a TUP after making all of the findings below." The specific conditions are noted below with the reviewer's comments following in *italicized* text.

- (a) The establishment, maintenance, and operation of the use will not, under the circumstances of the particular case, be detrimental to the health, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.

Reviewer Comment: Visual screening is required per Chapter 1132.09(a). Access to the site will be from Enterprise Drive, limiting impacts to surrounding properties

- (b) The use, as described and conditionally approved, will not be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the City.

Reviewer comment: No permanent improvements are included with this proposal, and the conditions of all Temporary Use Permits require that the site be returned to original condition once the use is completed. No detrimental or injurious items were identified as part of this application.

- (c) Approved measures for the removal of the use and site restoration have been required to ensure that no changes to the site would limit the range of potential permanent uses otherwise allowed by this Zoning Code.

Reviewer Comment: No topographic or other permanent site alterations are included with this application. The site will be returned to original condition upon completion of the requested temporary use. All site fencing, temporary structures, and equipment and materials must be removed upon termination of this Temporary Use Permit

CONCLUSION

No inconsistencies between the proposed use and the City's adopted temporary use regulations were identified as part of this review.

The Planning and Zoning Commission and City Council could include the following two conditions if desired:

1. "Upon completion or expiration of this Temporary Use Certificate, the site shall be returned to its original condition. This includes removal of all fencing, temporary structures, equipment, and materials from the site."
2. "Sheet B.1 references the City of New Albany rather than the City of Johnstown. Please update the detail reference to the City of Johnstown."

AN ORDINANCE TO AMEND CHAPTER 1147 OF THE CITY'S CODIFIED ORDINANCES

WHEREAS, Chapter 1147 of the City of Johnstown Codified Ordinances provides criteria for the Urban Residential Low Density zoning district (UR-1); and

WHEREAS, on July 28, 2026 the Planning & Zoning Commission reviewed an application (Exhibit A) for text amendments to Chapter 1147.03 Conditional Uses and recommended that council approve the changes requested; and

NOW, THEREFORE, BE IT ORDAINED by the Council for the City of Johnstown, County of Licking, State of Ohio, that:

Section 1: That the City Council accepts the recommendation of the Planning & Zoning Commission and the amendments to Chapter 1147.03 as follows; additions shown in *red italics*:

1147.03 CONDITIONAL USES.

The following uses shall be allowed in the UR-1 District subject to approval with Chapter [1131](#).

- (a) Public parks, playgrounds and playfields operated with or without fee.
- (b) Private schools, including child care centers, offering general education courses and having no facilities on the lot regularly used for housing or sleeping of students, faculty or staff.
- (c) General public facilities such as public libraries, municipal buildings and community buildings.
- (d) Home occupation in association with a permitted dwelling, and in accordance with Chapter [1173](#).
- (e) Assisted Living Facilities and accessory uses*
- (f) Memory Care Facilities and accessory uses*

Section 2: It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of the Council and that all deliberations of this Council and any of its committees which resulted in such formal actions were in meetings so open to the public in compliance with all legal requirements of the City of Johnstown, Licking County, Ohio.

Date of Introduction/Public Hearing: September 1, 2026

Vote: September 15, 2026

Effective Date:

BY: _____

Mayor Tiffany Hollis

ATTEST TO:

APPROVED AS TO FORM:

Teresa Monroe, Clerk of Council

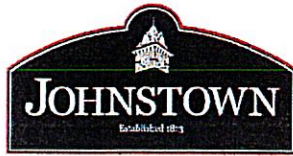
Yazan Ashrawi, Law Director

Exhibit A Ord 17-2026

City of Johnstown
Administrative Offices
www.johnstownohio.org

CITY OF JOHNSTOWN, OHIO

599 S. Main Street
Johnstown, Ohio 43031
Telephone: 740-967-3177



**AMENDMENT PERMIT APPLICATION
CHAPTER #1137**

PAID
JUN 22 2026

Application Number: 06-22-26 Date: CITY OF JOHNSTOWN

FEES:

Number of Letters to Contiguous Property Owners: 1 @ \$ 9.62 Total: \$ 9.62
Newspaper Advertising Expense / P&Z: \$ 151.90 Council: \$ 90.50 *paid ch #1365*
(one publication at least 7 days prior to hearings)
Application Fee: \$600 ☒
Total Fee Amount: \$ _____ Paid: Check # 1364 / Cash: _____

(PLEASE PRINT)

Applicant's Name: Rebecca J. Mott Phone: _____

Mailing Address: Plank Law Firm, LPA, 411 East Town Street, Floor 2 City: Columbus State: OH Zip: 43215

E-mail Address: _____

Property Address: 267 North Main Street Johnstown, Ohio 43031

Property owner/lessee name: C&Z Associate LLC Phone: _____

Mailing Address: 3481 Foxcroft Drive City: Lewis Center State: OH Zip: 43035

E-mail Address: _____

Present use of land: Vacant Assisted Living Facility

Zoning District: UR-1 Proposed Zoning District (if applicable) _____

IN ADDITION, THE FOLLOWING ITEMS MUST ACCOMPANY THIS APPLICATION:

1. Attach a Legal Description/site map. If applicable.
2. Attach a separate list of property owner's names and addresses contiguous to and directly across the streets(s) from the property and the mailing addresses of all such persons if applicable.

3. Attach a redline copy of the of the proposed ordinance changes the applicant is requesting for consideration.
4. Attach a statement of the relation of the proposed amendment to the general welfare of the community, to appropriate plans for the area and to the changed or changing conditions behind the request for the amendment, and proposed, existing and proposed.
5. Attach a list of any deed restrictions, easements, covenants and or encumbrance to be used to control use, development and maintenance of land and proposed uses shall be fully denoted by text and map.

*** The undersigned is applying for a Zoning Amendment; said permit to be issued based on the information contained within this application. The applicant hereby certifies that all information and attachments to this application are true & correct and agrees to follow all applicable regulations.

Applicant's Signature Donald Plank on behalf of Rebecca Mott Date: 6 / 11 / 26

OFFICE USE ONLY:

Date Received in Office: 6 / 28 / 26 By: [Signature]

Planning and Zoning Commission Public Hearing Date: 7 / 28 / 26

Recommendation to Council: Approve

City Council Public Hearing Date: 9 / 1 / 26

Application was Approved Issued on Date: ____/____/____

Application was Denied on Date: ____/____/____

Additional Comments or Requirements: _____

Owner Authorization

Date: 6.30.2026

I, Vincent chu, acting as Member, of C&Z Associate LLC, the property owner (the "Property Owner") hereby authorize Plank Law Firm, LPA, to act as an authorized agent for the Property Owner for the limited purpose of acting, signing, and pursuing necessary entitlements, including, but not limited to, a text amendment application, a conditional use application (in connection with obtaining the use of Assisted Living Facilities and accessory uses, Memory Care facilities and accessory uses, and other similar uses as adopted by the City of Johnstown), and for area variances for the Property located at 267 North Main Street, Johnstown, Ohio 43031 commonly known as Licking County Auditor Tax Parcel Id. No.: 053-178074-00.000 (the "Property").

C&Z Associate LLC

By: Vincent chu
Its: IP: 174.214.149.15 Electronic Signature
DocID: 20260630080154804

Printed Name: VINCENT CHU

Exhibit A
to Zoning Amendment Request

Applicant, Rebecca J. Mott, Esquire, is applying for a Zoning Amendment to Section 1147.03 of the Johnstown Planning and Zoning Code (the "Code"). Applicant requests that "(e) Assisted Living Facilities and accessory uses" and "(f) Memory Care Facilities and accessory uses" be added as conditional uses to the Code at Section 1147.03. Applicant represents a client in contract to purchase the property located at 267 North Main Street, Johnstown, Ohio 43031, commonly known as Licking County Auditor Tax Parcel Id. No.: 053-178074-00.000 (the "Property"). The Property is currently zoned UR-1 District. All properties immediately to the north, south, east, and west are also zoned in the UR-1 District. Applicant is filing a concurrent conditional use application in attempts to revitalize and modernize the Property with a use that previously existed at the Property.

Conditional uses in the UR-1 District include public facilities such as public libraries, municipal buildings and community buildings in addition to private schools and childcare centers. These are low intensity, low impact uses. An assisted living facility and/or memory care facility comport with these uses as additional low intensity, low impact uses. Thus, adding "Assisted Living Facilities and accessory uses" and "Memory Care Facility" to the Planning and Zoning Code under Section 1147.03 is suitable and appropriate. Additionally, the request is to add such uses under the Conditional Use section of the district, so the particularities of any proposed site will be reviewed under Code section 1131 prior to use of any proposed site.

Requested text amendment to Chapter 1147 of the city Codified Ordinance.
Additions are shown in *italics*

1147.03 CONDITIONAL USES.

The following uses shall be allowed in the UR-1 District subject to approval with Chapter 1131.

- (a) Public parks, playgrounds and playfields operated with or without fee.
- (b) Private schools, including child care centers, offering general education courses and having no facilities on the lot regularly used for housing or sleeping of students, faculty or staff.
- (c) General public facilities such as public libraries, municipal buildings and community buildings.
- (d) Home occupation in association with a permitted dwelling, and in accordance with Chapter 1173.

(e) Assisted Living Facilities and accessory uses

(f) Memory Care Facilities and accessory uses

NORTH MAIN STREET R/W VARIES

(STATE ROUTE 37)

S 37°48'39" E 265.73'

SITE PLAN OF 267 NORTH MAIN STREET

LYING IN

4TH QUARTER OF TOWNSHIP 3 NORTH, RANGE 15 WEST
UNITED STATES MILITARY LANDS
CITY OF JOHNSTOWN, COUNTY OF LICKING
STATE OF OHIO

BASIS OF BEARINGS:

THE BEARINGS ARE BASED ON THE OHIO STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, NAD83 (2011) EPOCH 2010.0. SAID BEARINGS ORIGINATED FROM A FIELD TRAVERSE WHICH WAS REFERENCED TO SAID COORDINATE SYSTEM BY GPS OBSERVATIONS AND OBSERVATIONS OF SELECTED STATIONS IN THE OHIO DEPARTMENT OF TRANSPORTATION REAL-TIME-NETWORK.

NOTE:

THIS SURVEY DOES NOT REPRESENT ANY EASEMENTS THAT MAY AFFECT THIS TRACT AND DOES NOT REPRESENT ANY UNDERGROUND UTILITIES THAT MAY AFFECT THIS TRACT. ALL REBAR SET ARE 5/8" DIA. 30" LONG, WITH AN ORANGE PLASTIC CAP STAMPED "P.S. 8047".

ZONING:

CURRENT ZONING: UR-1 "RURAL RESIDENTIAL LOW DENSITY, CONDITIONAL USE"

SETBACKS:

FRONT-35 FEET
SIDE-25 FEET MIN.
REAR-25 FEET

PARKING: THERE ARE 42 (9'x19') STANDARD EXISTING SPACES

PARKING REQUIRED:

1 PARKING SPACE FOR EACH 4 BEDS, PLUS 1 PER EMPLOYEE ON LARGEST SHIFT.
50 BEDS + 8 EMPLOYEES = 21 REQUIRED SPACES

BUILDING COVERAGE: 30% MAX - 24.8% EXISTING

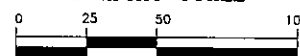
SETBACK ENCROACHMENT:

A PORTION OF THE BUILDING EXTENDS OVER THE 25 FEET REAR SETBACK LINE AND THE 25 FEET SIDE SETBACK LINES, AS SHOWN HEREON.

LEGEND

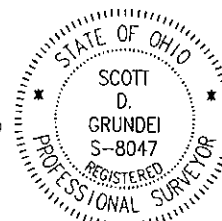
- IPF IRON PIN FOUND
- RBF REBAR FOUND
- RBS REBAR SET
- CATCH BASIN
- ELECTRIC TRANSFORMER
- UTILITY POLE
- LIGHT POLE
- FIRE HYDRANT
- WATER VALVE
- SIGN
- EXISTING FENCE LINE
- EXISTING FENCE LINE
- ENCROACHMENT AREA

GRAPHIC SCALE



(IN FEET)

1 inch = 50 ft.



Scott D. Grundei 6/9/26
SCOTT D. GRUNDEI, P.S.
REGISTERED SURVEYOR NO. 8047 DATE

Compass 360°
surveying

P: (614) 205-0721

gm@compass360surveying.com

www.compass360surveying.com

REV: 6/5/26

REV: 6/9/26

DATE: 5/7/26

JOB NO. 26-233

DRAWN BY: SG

JOHN A. &
LISA J. SADINSKY
I.N. 200105220017783

N 52°34'50" E 216.35'

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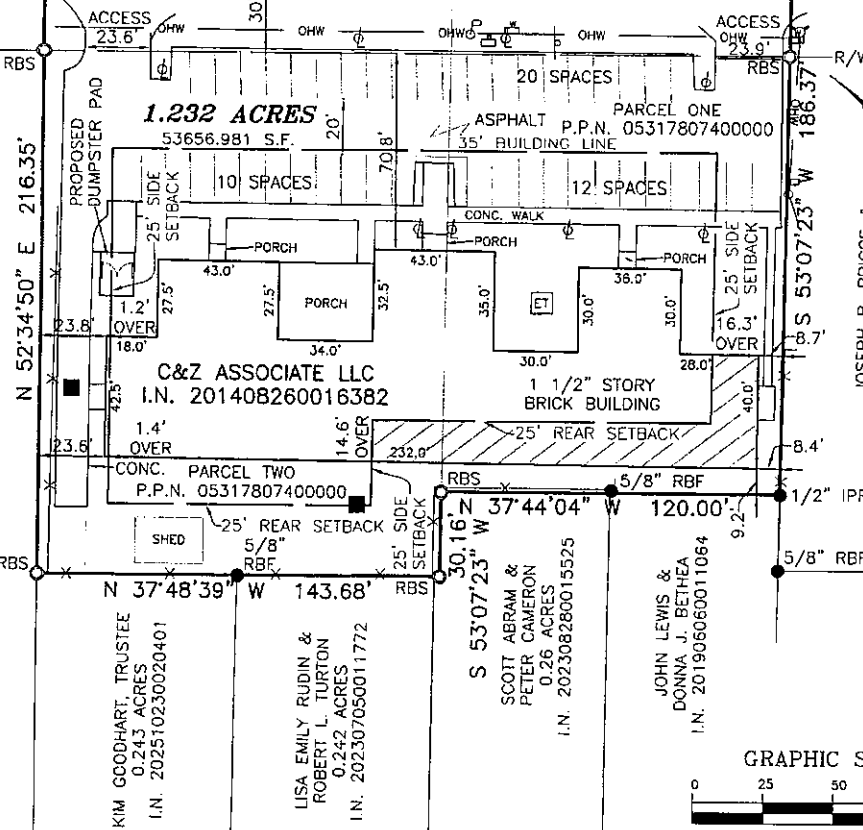
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0.243 ACRES
I.N. 202510230020401

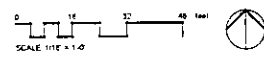
LISA EMILY RUDIN &
ROBERT L. TURTON
0.242 ACRES
I.N. 202307050011772

SCOTT ABRAM &
PETER CAMERON
0.26 ACRES
I.N. 202308280015525

JOHN LEWIS &
DONNA J. BETHEA
I.N. 201906060011064

JOSEPH B. BRIGGS &
MARLYN A. SMITH
0.588 ACRES
I.N. 201602240003513





<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>COMMON / BOTANICAL NAME</u>	<u>CONT</u>	<u>SIZE</u>
<u>TREES</u>					
	JS	12	Spanish Juniper / Juniperus communis 'Spanish'	B & B	5 HT 40'
	TI	20	Green Giant Arborvitae / Thuja x Green Giant	B & B	6 HT 40'
<u>SHRUBS</u>					
	NK	16	Cats Meow Camellia / Nephela x fascicularis 'Cats Meow'	1 gal	
	SM	6	Magic Carpet Japanese Spirea / Spiraea japonica 'Yukon Magic'	2 gal	

1 PER JOHNS TOWN ON ZONE CODE

"All FISH and Wildlife resources shall be restored or enhanced by water, dredge or natural vegetation."

Printed sample is screenable courtesy of www.purvis.com

The 1000-watt heater, which was maintained at a water level 0.0533 m above the nozzle, was a parallel-plate heater with a separation of 0.001 m and a length of 0.01 m. The heater was placed in the buffer zone with a separation of 0.001 m from the nozzle. The heater was placed in the buffer zone with a separation of 0.001 m from the nozzle. The heater was placed in the buffer zone with a separation of 0.001 m from the nozzle.

Contours overlain ridge is provided in plan.

(2) Between 20,000 square feet and 30,000 square feet: A minimum of one foot for every 3,000 square feet of ground covered and a total fee planning subject to a \$150 annual plus and each inch in the front lot for every 2,000 square feet over 20,000 feet in ground coverage.

Total Grading Capacity = $14,220 \text{ cu} + 288 \text{ cu} + 14,220 \text{ cu} = 28,728 \text{ cu}$
 Roadway Total = $1 \text{ Mile} \times 5,000 \text{ cu} \times .2933 \text{ cu} = 6 \text{ Miles}$
 Remaining Gravel: inches = $10 \text{ in} - 3.03 \text{ in} = 6.97 \text{ in} \times 2,800 \text{ cu} = (9,933 \text{ cu}) = 12 \text{ in}$

The steering lanes on the left satisfy the five and eight inch road surfaces.

(2) For each 100 square feet or fraction thereof of parking area a minimum of one (1) square foot of landscaped area shall be provided.

Total Paving Area = 14,425 sq ft
 Required asphalt = 15 sq ft / 100 sq ft = 14,425 sq ft = 721 sq ft
 Grapeseed oil emulsion = 250 gal

A workshop shall be conducted to ensure the remaining 455 judges are adequately trained in the workers' comp.

7.3 Parking areas should contain a minimum of six decibels per ft².

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First Printing 2004 • 2nd Edition
Revised First • 1996 and 1999

is veracht wat de kerkdienaars van de partij der heilighen.

2018 | 10th Anniversary
2019 | 11th Anniversary

open space by a three and five-furled (3-5) foot minimum height every one hundred feet (30.5m) and/or a combination of both and planting:

A variance shall be submitted to, upon the hearing following 12/24/2011

along North Main Street

NOT FOR CONSTRUCTION







RESOLUTION 2026-39

**A RESOLUTION APPOINTING MEMBERS TO THE JOHNSTOWN NEW COMMUNITY AUTHORITY
BOARD OF TRUSTEES**

WHEREAS, pursuant to Ordinance 11-2024 passed and effective April 4, 2024 by this City Council, the Johnstown New Community Authority (the "Authority") was created and organized as a body corporate and politic pursuant to Chapter 349.04 of the Ohio Revised Code with its new community district (the "District") having the boundaries provided in that Ordinance; and

WHEREAS, Resolution 2024-35 made initial appointments to the NCA Board and Johnstown City Council desires to appoint members to two terms expiring September 17, 2026; and

NOW, THEREFORE, BE IT RESOLVED by the Council for the City of Johnstown, County of Licking, State of Ohio, that;

Section 1. The following Citizen Member is hereby appointed to a two (2) year term on the Board of Trustees of the Authority, commencing on September 18, 2026 and expiring on September 17, 2028, to represent the interests of the present and future residents and employers of the Authority's District:

Appointee
Name: _____
Address: _____

Section 2. The following Citizen Member is hereby appointed to a two (2) year term on the Board of Trustees of the Authority, commencing on September 18, 2026 and expiring on September 17, 2028, as a representative of local government:

Appointee
Name: _____
Address: _____

Section 3. This Council finds and determines that all formal actions of this Council and any of its committees concerning and relating to the passage of this Resolution were taken in an open meeting of this Council and any of its committees, and that all deliberations of this Council and any of its committees that resulted in those formal actions were in meetings open to the public, all in compliance with the law including Section 121.22 of the Ohio Revised Code.

Section 4. This resolution is declared to be in full force and effect from and after the earliest period allowed by law.

Introduction/Public Hearing/Vote: September 15, 2026

By: _____

Mayor Tiffany Hollis

ATTEST TO:

APPROVED AS TO FORM:

Teresa Monroe, Clerk of Council

Yazan Ashrawi, Law Director



AN ORDINANCE AUTHORIZING AND DIRECTING STAFF TO OBTAIN AND UTILIZE A CLOUD-BASED PLATFORM TO MANAGE THE CITY'S FINANCIALS AND BUDGETING

WHEREAS, the City of Johnstown desires to obtain and use a cloud-based software platform to assist with the management and disclosure of their public finance and budgeting cycles, and to allow public access to the same from the City's website; and

WHEREAS, the City of Johnstown believes such a platform will ensure consistency and transparency with the City's finances.

NOW THEREFORE BE IT ORDAINED BY THE CITY OF JOHNSTOWN, COUNTY OF LICKING, STATE OF OHIO, AS FOLLOWS:

Section 1: The City hereby authorizes and directs City staff to obtain proposals and quotes of multiple cloud-based platforms, including, not limited to ClearGov, and to select the best platform for the City, subject to the City Council approval and appropriation of adequate funds for the platform.

Section 2: Staff is directed to report back to Council on their selection of the cloud-based platform, which Council shall have the discretion to approve or reject.

Section 3: Once the platform is selected and implemented, Staff is directed to use and continue using the platform, including ensuring the financial information on the platform is publicly available through the City of Johnstown's website, until otherwise directed by Council.

Section 4: It is hereby found and determined that all formal actions of this Council concerning and relating to the passage of this Ordinance were adopted in an open meeting of the Council and that all deliberations of this Council and any of its committees which resulted in such formal actions were in meetings so open to the public in compliance with all legal requirements of the City of Johnstown, Licking County, Ohio.

Date of Introduction: September 15, 2026

Public Hearing/Vote: October 6, 2026

Effective Date:

BY: _____

Mayor Tiffany Hollis

ATTEST TO:

APPROVED AS TO FORM:

Teresa Monroe, Clerk of Council

Yazan Ashrawi, Law Director