



Design Review Board Meeting
Tuesday, July 28, 2026 - 5:00 PM
AGENDA

1. Call to Order/Roll Call
2. Public Comment on items not on the agenda
3. Approval of Minutes
 - a. May 12, 2026
4. Application # 2026-20N-00110 Certificate of Appropriateness/Sign; 70 S. Main St.
 - a. Application & Staff Report
5. Application # 2026-20N-00115 Certificate of Appropriateness/Re-roof; 116 W. Jersey St.
 - a. Application & Staff Report
6. Application # 2026-20N-06127 Certificate of Appropriateness/Garage Replacement; 196 S. Oregon St.
 - a. Application & Staff Report
7. Application # 2026-20N-00123 Certificate of Appropriateness /New Garage; 30 N. Main St.
 - a. Application & Staff Report
8. Other Business
9. Adjourn



Design Review Board
Tuesday, May 12, 2026 - 5:30 PM
MINUTES

1. Call to Order/Roll Call

Board Chair Heather Green called the Design Review Board to order for May 12, 2026 at 5:31 pm.

Present - Heather Green, Franz Stein, Andrew Hale, Craig Bohning

Absent - Dustin Gerken

Staff present - Jeff Sheridan - Interim City Manager, Shawna Daniels - Substitute Clerk

Public present - Craig Goodwin, Gregory Gallas, Carter Bean

2. Public Comment on items not on the agenda

No public comments.

3. Approval of Minutes

a. April 28, 2026

ACTION: Craig Bohning moved to approve; Andrew Hale seconded and the vote was as follows:

AYES: Andrew Hale, Heather Green, Franz Stein, Craig Bohning

NOES: None

ABSTAIN: None

Passed 4 - 0

4. TABLED Application # 3-27-26 Certificate of Appropriateness; 11546 Johnstown Utica Rd - New Construction Proposed multi-tenant retail

a. Application & Staff Report

ACTION: Heather Green moved to take off the table; Andrew Hale seconded and the vote was as follows:

AYES: Andrew Hale, Heather Green, Franz Stein, Craig Bohning

NOES: None

ABSTAIN: None

Passed 4 - 0

Carter Bean said they have achieved everything that was discussed at the last meeting, changes being: breaking down the larger storefronts in the center of small building A, so rather than two larger storefronts they have four smaller; removal of the fiber cement lap siding and going with brick in two different tones, which plays into this building and the larger building C, in that the more gold colored brick introduced has been used at the base

of both buildings to be more consistent with the cast stone base that is on existing building B. He said once they arrived at that point, the all brick on A, particularly in the front, seemed to give the building a lot of "forehead", it was just a big massive brick wall, so they have introduced a second option, with a pitched roof between the two higher parapet corner pieces on building A, which to him, helps break down that face and make it more compatible with existing building B and new building C. Board members reviewed the updated designs and discussed their preferences on designs presented, features and material. Some discussion on the desire to have a master sign plan for the shopping center in the future, sign packages will be submitted in the future.

ACTION: Heather Green moved to approve the alterations on buildings A and C with the exception of removing the "tenant" pt-1/fc-1 facade shown on south elevation D, and adding the "eyebrows", recessed brick lintel, from alternate 2 above the windows to elevation A. Craig Bohning seconded and the vote was as follows:

AYES: Andrew Hale, Heather Green, Franz Stein, Craig Bohning

NOES: None

ABSTAIN: None

Passed 4 - 0

5. Other Business

1. Mr. Sheridan said he has two finalists for the Director of Planning & Development, he will be interviewing and hopes to hire in the next thirty days.

6. Adjourn

ACTION: Heather Green moved to adjourn; Andrew Hale seconded and all were in favor.

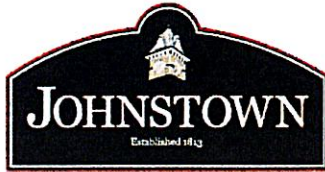
AYES: Heather Green, Andrew Hale, Franz Stein, Craig Bohning

NOES: None

ABSTAIN: None

Passed 4 - 0

The meeting ended at 5:57 pm.



CERTIFICATE OF APPROPRIATENESS: CHAPTER #1187

(SIGN)

Application Number: 2026-20N-00110 Date: 6/17/26

FEES:

Base Fee: \$ 75

Total Fee Amount: \$ 75.00 Paid: Check # 1584 Cash: \$ 0.00

Sign - \$30.00

(PLEASE PRINT LEGIBLY)

1. Applicant: Johnstown Lifestyle Phone: _____
2. Property Address: 70 South Main Street City: Johnstown State: OH Zip: 43031
3. Applicant's E-mail: _____
4. ~~Business Owner's Name:~~ President Board of Directors
Susan Cullen Phone: _____
5. Contractor's Name: N/A Phone: () - -
6. Principal Business Activity: Nonprofit Wellness education
7. Existing Use of Property: office and programming space
8. ~~Square Footage of Proposed Building or Business:~~ _____ sq. ft.
9. Zoning District: GCC-1 Number of Off-Street Parking Spaces: N/A
10. Estimated Cost of Improvements: \$ NA

****** Materials required for submission with this application. (Digital file preferred)**

- (1) A dimensioned site plan showing existing conditions including all structures, pavement, curb-cut locations, natural features such as tree masses and riparian corridors, and rights-of-way.
- (2) A dimensioned site plan showing the proposed site change including structures, pavement, revised curb-cut locations, landscaping, property lines and screening of mechanicals.

- (3) Illustration of all existing building elevations from street/ground to scale & picture of project before starting.
- (4) Illustrations of all proposed building elevations to scale & picture of project when it's finished.
- (5) Samples of proposed building materials.
- (6) Color samples for proposed roof, siding, etc.
- (7) Illustrations of all existing site signage including wall and ground. N/A
- (8) Illustrations of proposed signage to scale.
- (9) A dimensioned site plan showing location of existing ground mounted signs.
- (10) A dimensioned site plan showing the proposed location of ground mounted signs.
- (11) Samples of proposed sign materials.
- (12) Color samples of proposed sign(s).
- (13) Proposed lighting plan for sign(s). N/A
- (14) **ASK THE ZONING INSPECTOR ABOUT** the Sign with the Date, and Time for the Public Hearing.

List of Materials that will be used on the project:

1. vinyl Decal ^{inside} ~~outside~~ mount2. _____
3. _____ 4. _____
5. _____ 6. _____

List of Contiguous Neighbors and Addresses:

- | | | | | |
|----|--------------------------|-----------------------------|----------------|-------------------|
| 1. | _____
Neighbor's Name | _____
Neighbor's Address | _____
State | _____
Zip Code |
| 2. | _____
Neighbor's Name | _____
Neighbor's Address | _____
State | _____
Zip Code |
| 3. | _____
Neighbor's Name | _____
Neighbor's Address | _____
State | _____
Zip Code |
| 4. | _____
Neighbor's Name | _____
Neighbor's Address | _____
State | _____
Zip Code |

The undersigned is applying for a Certificate of Appropriateness Permit for the following use: said permit is to be issued based on the information contained within this application. The applicant hereby certifies that all information and attachments to this application are true & correct and agrees to follow all applicable laws.

Applicant's Signature: x Susan Cullen Date: 3 / 28 / 26

**** CHECKS PAYABLE TO: CITY OF JOHNSTOWN**

599 S. Main St. Johnstown, OH 43031

OFFICE USE ONLY:

Date Received in Office: 6 / 17 / 26 By: SK

Date of ~~Planning and Zoning Commission~~ ^{DRB} Meeting: 7 / 28 / 26

Date Permit Approved or Denied by ~~P & Z Commission~~ ^{DRB} or DRB: () / /

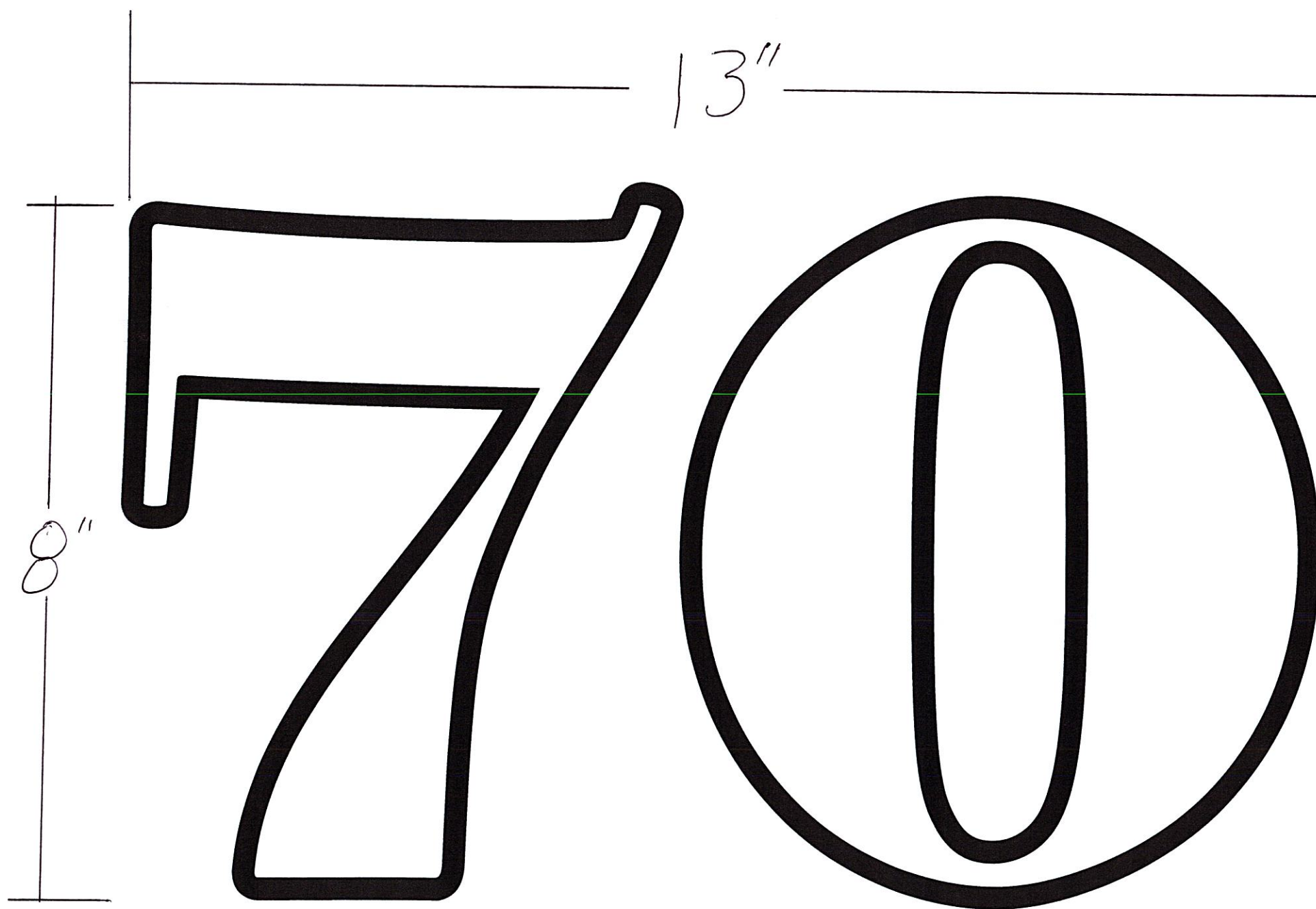
Conditions Necessary for Approval: _____

City Manager Signature: x _____



12"





STAFF REVIEW LETTER

Date: 06/18/2026

Property Address:

70 South Main Street
Johnstown, Ohio 43031

Property Owner:

Johnstown Lifestyle

Applicant / Contractor:

Johnstown Lifestyle

Project Description:

Installation of reverse-mounted interior vinyl window signage consisting of one organizational logo and one building identification number.

Applicable Review:

- GCC-1 General Commercial District
- Chapter 1177 – Sign Regulations
- Chapter 1187 – Design Review Regulations
- Historic Downtown Design Review District
- Sign Permit
- Certificate of Appropriateness

STAFF FINDINGS

The subject property is located within the GCC-1 zoning district and the Historic Downtown Design Review District.

Based upon the submitted application materials, the applicant proposes to install reverse-mounted interior vinyl signage on the storefront glazing.

The submitted application identifies:

- One twelve-inch (12") circular organizational logo;
- One building identification numeral display approximately 13.32 inches wide by 8 inches high;
- Black and white vinyl materials;
- Interior mounting for exterior viewing;
- Non-illuminated installation.

Supporting documentation includes building photographs, proposed sign artwork, material specifications, color information, sign dimensions, installation details, and sign permit application materials.

Using the glazing dimensions established during review, the proposed signage occupies a limited portion of the available storefront glazing and is proportionate to the building frontage.

Based upon the submitted application materials, the proposed work is limited to installation of the interior reverse-mounted vinyl signage as submitted.

Logo: 9% of the door glass.

Address: 8% of the upper window.

RECOMMENDED DETERMINATION

APPROVED AS SUBMITTED

The proposed signage package is recommended for approval based upon the submitted application and supporting materials.

Respectfully Submitted,

Jeffrey A. Szabo



CERTIFICATE OF APPROPRIATENESS: CHAPTER #1187

(MINOR) *major*

Application Number: *2026-20N-0015* **PAID** Date: *6/29/26*
PAID JUN 30 2026

FEES:

Base Fee: \$ 100

Total Fee Amount: \$ *100* Paid: Check # *113* Cash: \$ *0*

(PLEASE PRINT LEGIBLY)

1. Applicant: *Bryson Roofing* Phone: _____
2. Property Address: *116 N Jersey St* City: *Johnstown* State: *OH* Zip: *43031*
3. Applicant's E-mail: _____
4. Business Owner's Name: *JOSH OVERMYER / Nick Schumacher* Phone: (____) ____-____
5. Contractor's Name: *JOSH OVERMYER* Phone: (____) ____-____
6. Principal Business Activity: *ROOFING*
7. Existing Use of Property: *RESIDENTIAL*
8. Square Footage of Proposed Building or Business: _____ sq. ft.
9. Zoning District: _____
10. Estimated Cost of Improvements: \$ *26,727*

**** Materials required for submission with this application. (Digital file preferred)

- (1) A dimensioned site plan showing existing conditions including all structures, pavement, curb-cut locations, natural features such as tree masses and riparian corridors, and rights-of-way.
- (2) A dimensioned site plan showing the proposed site change including structures, pavement, revised curb-cut locations, landscaping, property lines and screening of mechanicals.

- (3) Illustration of all existing building elevations from street/ground to scale & picture of project before starting. (4) Illustrations of all proposed building elevations to scale & picture of project when it's finished.
- (5) Samples of proposed building materials.
- (6) Color samples for proposed roof, siding, etc.

List of Materials that will be used on the project:

- | | |
|---|-------------------|
| 1. <u>GAR Timberline VHDZ (state color)</u> | 2. <u>-CLASSY</u> |
| 3. <u>ICE & WATER EAVES FLASHING</u> | 4. _____ |
| 5. <u>SYN UNDERLAYMENT</u> | 6. _____ |
| 7. _____ | 8. _____ |

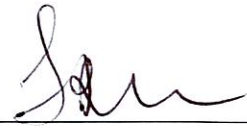
The undersigned is applying for a Certificate of Appropriateness Permit for the following use: said permit is to be issued based on the information contained within this application. The applicant hereby certifies that all information and attachments to this application are true & correct and agrees to follow all applicable laws.

Applicant's Signature: x  Date: 6 / 29 / 24

**** CHECKS PAYABLE TO: CITY OF JOHNSTOWN**

599 S. Main St. Johnstown, OH 43031

OFFICE USE ONLY:

Date Received in Office: 6 / 30 / 26 By: 

Conditions Necessary for Approval: _____

Approved / Denied Date : ____ / ____ / ____

City Manager Signature: x _____

Parcel

053-181572-00.002
GERHART SHAWNA L & JERRY
116 JERSEY ST JOHNSTOWN, OH 43031



053-181572-00.002

01/08/2024

Parcel: 053-181572-00.002 ([Direct Link](#))

Owner: GERHART SHAWNA L & JERRY

Parcel Address: 116 JERSEY ST
JOHNSTOWN, OH 43031

Legal Desc: OUT LOT 9 PT 0.259
AC

Acres: 0.2580

Tax District: 053 MONROE T-JOHTN C-
JOHTN-MNR LSD

Owner Mailing GERHART SHAWNA L
Address: & JERRY

116 W JERSEY ST
JOHNSTOWN OH
43031

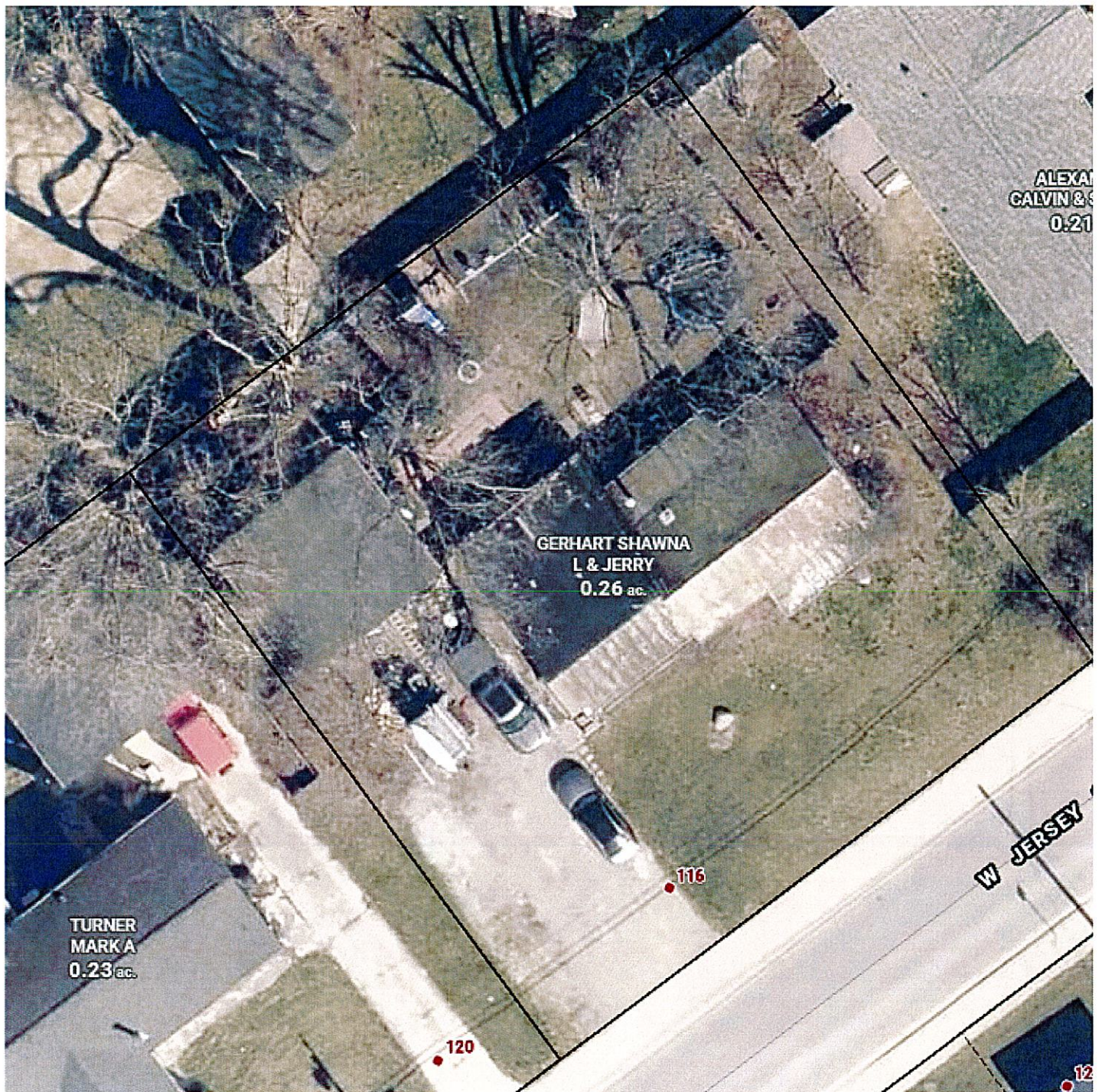
Mailing Address: COTALITY TAX
SERVICES
ESCROW REPORTING
3001 HACKBERRY RD
IRVING TX 75063

Class Group: Residential

Class: 510 Single family
platted lot

TIF:







[Back](#)

Timberline UHDZ[®] with UltraMat[™]

Timberline UHDZ[®] shingles offer a combination of beauty and benefits that go beyond any other GAF shingle. UltraMat[™] high-performance fiberglass mat technology enhances the shingle at its core and achieves UL 2218 Class 4¹ impact-resistance rating.

★★★★★ 4.9 (158) [WRITE A REVIEW](#)

[Find a contractor](#)



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[Manage
Cookie
Settings](#)



Pewter Gray



Barkwood



Charcoal



Shakewood



Slate



About Timberline UHDZ[®] (Ultra High Definition) with UltraMat[™] Shingles

For homeowners ready to go beyond their expectations, we offer Timberline UHDZ[®] Shingles — the premium laminate shingle from GAF. The patented Dual Shadow Line creates dramatic sunset shadows all day long. UltraMat[™] high-performance fiberglass mat technology enhances the shingle at its core and achieves UL 2218 Class 4 impact-resistance rating.¹ Time-release algae-fighting technology helps

Expand to read more 

Features & Benefits

If you're passionate about your home, Timberline UHDZ[®] Shingles were designed with you in mind. Richer colors. Deeper dimensions. Better warranty coverage against blue-green algae discoloration.¹ It's the most beautiful shingle we offer in its class.



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Specifications (All Dimensions Are Nominal)

Dimensions

13 1/4" x 39 3/8"

Applicable Standards & Protocols

- Fire - UL Listed to ANSI/UL 790 Class A
- Wind - ASTM D7158, Class H
- Wind - ASTM D3161, Class F
- National - ASTM D3018, Type 1
- National - ASTM D3462**
- National - Classified in accordance with ICC-ES AC438
- Regional - Miami-Dade County Product Control Approved***
- Regional - State of Florida Approved
- Regional - Texas Department of Insurance Listed
- Regional - ICC-ES ESR- 1475****
- Regional - ICC-ES ESR- 3267
- Passes UL 2218 Impact-Resistance Test with Class 4 Rating (highest possible)*
- Regional - CSA A123.5*****

*UL 2218 Class 4 Impact-Resistance Test performed by Certerra Analytical - PRI under controlled laboratory conditions.

**ASTM D3462 - Periodically tested by independent and internal labs to ensure compliance with ASTM D3462 at time of manufacture.

Applies to only some plants that make Royal Sovereign® Shingles and Marquis WeatherMax® Shingles. Applies to White only for Royal Sovereign® Shingles.

***Miami-Dade County Product Control Approved - Applies to some plants only that make Timberline® UHDZ™ Shingles, Royal Sovereign® Shingles and Marquis WeatherMax® Shingles. Applies to White only for Royal Sovereign® Shingles.

****ICC-ES ESR- 1475 - Applies to some plants only that make Royal Sovereign® Shingles and Marquis WeatherMax® Shingles. Applies to White only for Royal Sovereign® Shingles.

*****CSA A123.5 - Applies to some plants only that make Timberline HDZ®, Timberline® NS, and Timberline AS II®.

Product Documentation

[View All Documents](#)

Advanced Algae Protection Sell Sheet - RESGN439

Brochures and Literature



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DuraGrip WindProven Technology Sell Sheet - RESGN751

Data Sheets



PDF 

Laminated Shingles SDS - 2093

Safety Data Sheets



PDF 

LayerLock Technology Sell Sheet - RESTZ114

Data Sheets



PDF 

Lifetime Roofing System Sell Sheet - RESGN409

Data Sheets



PDF 

Timberline Collection Brochure - RESTL100-CL4

Brochures and Literature



PDF 

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STAFF REVIEW LETTER

Date: July 23, 2026

Application No.: 2026-ZON-00115

Property Address: 116 N. Jersey Street

DRB Meeting: July 28, 2026

Applicant: Bryson Roofing

Project Description: Reroofing of the existing residence using GAF Timberline UHDZ with UltraMat shingles in Slate, as shown in the submitted product and color materials.

Applicable Review: May 2026 Johnstown Design Guidelines — Historic Downtown Residential

Review Item	Finding
Design Context	Residential property within the Historic Downtown Design Review District.
Proposed Work	Replacement of the residence roofing; the existing roof form and building elevations remain unchanged.
Roof Material	GAF Timberline UHDZ with UltraMat laminated shingles.
Roof Color	Slate, a neutral gray color shown in the submitted product materials.
Architectural Compatibility	The dimensional shingle profile is compatible with the residence and the Historic Downtown Residential material guidance.
Streetscape Impact	The reroof preserves the existing roof form, massing, eaves, and architectural character of the residence.

RECOMMENDED DETERMINATION

MAJOR CERTIFICATE OF APPROPRIATENESS — APPROVED AS SUBMITTED

The proposed reroof is consistent with the applicable Historic Downtown Residential Design Guidelines for roof materials, architectural compatibility, and color.

Respectfully Submitted,

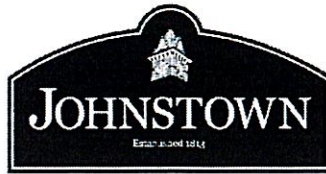
Jeffrey A. Szabo

Zoning / Code Enforcement Official

City of Johnstown

ATTACHMENT A
DESIGN GUIDELINES REVIEW

Guideline	Submitted Design	Staff Finding
§3.1.2.5 — Building Details	Reroofing only; the existing roof form, ridges, eaves, and building elevations remain unchanged.	Preserves the existing architectural form and character of the residence.
§3.1.2.6 — Materials	GAF Timberline UHDZ with UltraMat laminated shingles.	The submitted dimensional shingle is an architecturally appropriate roofing material for the Historic Downtown Residential setting.
§3.1.2.7–3.1.2.8 — Color	Slate, a neutral gray roof color.	The submitted color is consistent with the neutral palette encouraged for Historic Downtown Residential properties.



PAID
JUL 10 2026

CITY OF JOHNSTOWN

CERTIFICATE OF APPROPRIATENESS: CHAPTER #1187

Application Number: 2026-ZON-00127 Date: 7 / 10 / 2026

FEES:

Base Fee: \$ 300

Total Fee Amount: \$ 300⁰⁰ Paid: Check # _____ Cash: \$ 300⁰⁰

(PLEASE PRINT)

1. Applicant: Martin Topalov Phone: (____) _____
2. Property Address: 196 S Oregon St. City: Johnstown State: OH Zip: 43031
3. Applicant's E-mail: _____
4. Business Owner's Name: _____ Phone: (____) _____
5. Contractor's Name: Roger Kizer Phone: (____) _____
6. Principal Business Activity: _____
7. Existing Use of Property: _____
8. Square Footage of Proposed Building or Business: _____ sq. ft.
9. Zoning District: _____ Number of Off-Street Parking Spaces: _____
10. Estimated Cost of Improvements: \$ _____

IN ADDITION, THE FOLLOWING ITEMS MUST ACCOMPANY THIS APPLICATION:

- PLEASE READ CITY ORDINANCE #1187 PRIOR TO SUBMITTING APPLICATION
- (Conditional) One (1) full set (8.5 x11) of to scale plans and dimensioned drawings showing the property, with all elevations and the location of existing and proposed buildings and alterations are required. Attach any requested, supplemental or necessary documentation. **(Required only if asked for by the Zoning Inspector.)**

Applicant's Signature: x _____ Date: 7 / 10 / 2026

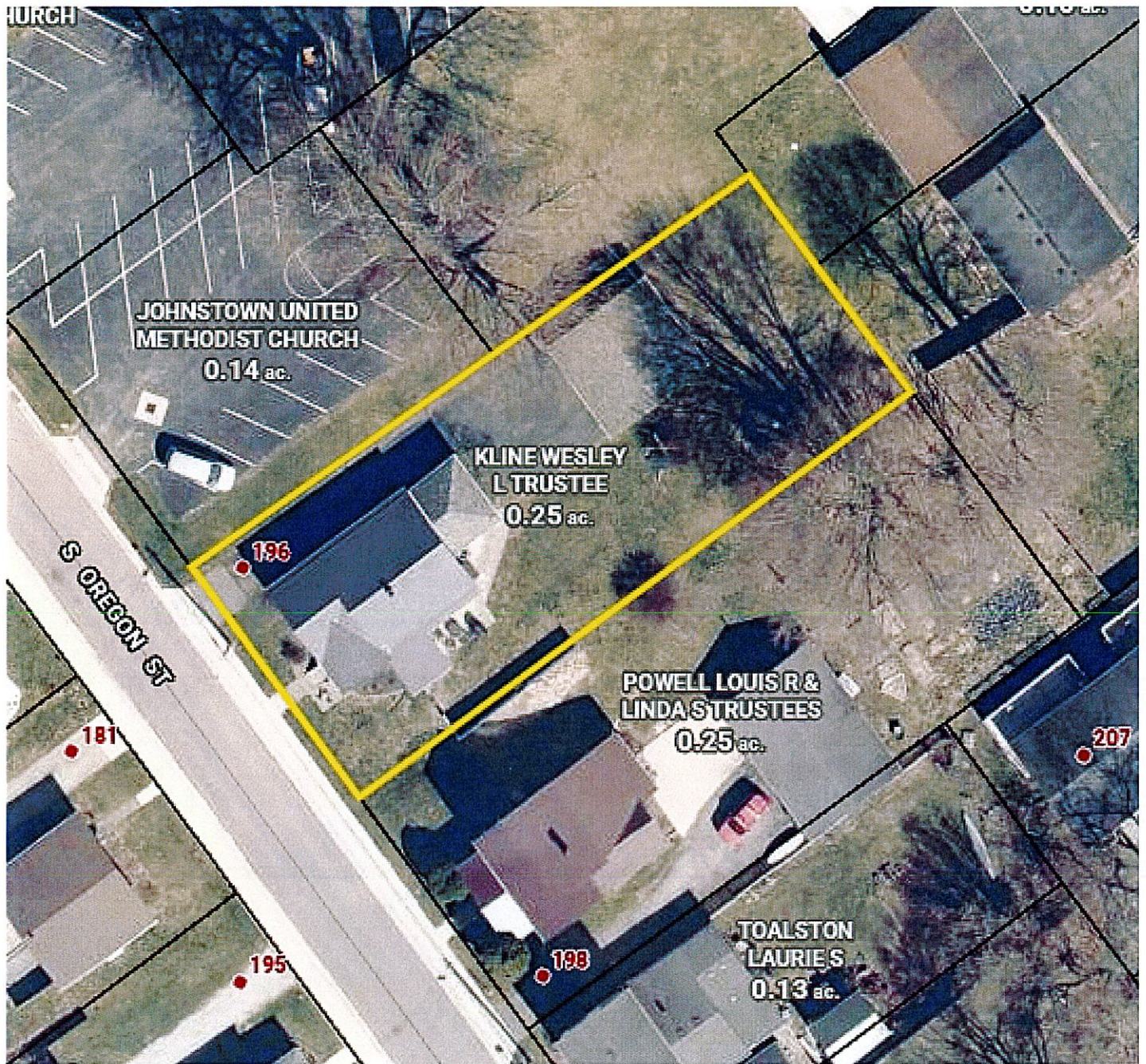
City Manager Signature: x _____



Replacing Garage damaged by storm.
Same Footprint

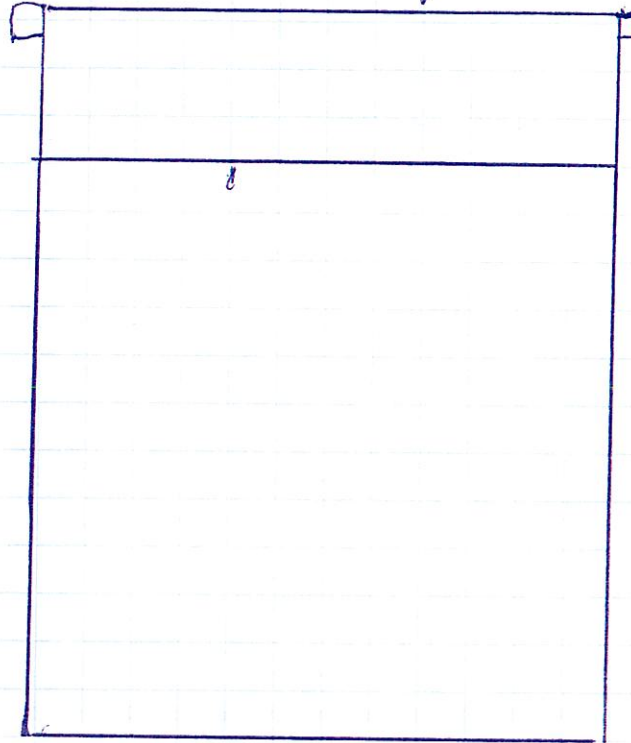






Martin Popov

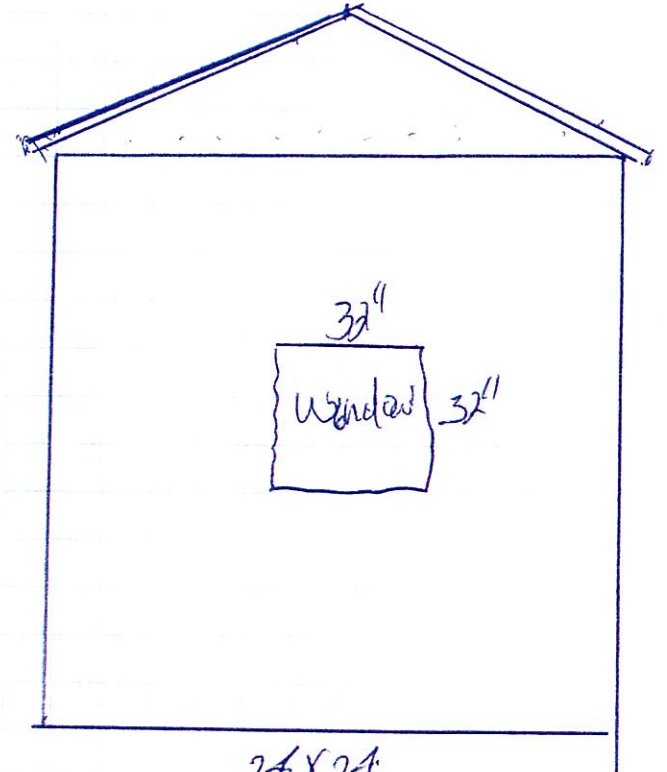
4x12 pitch roof with
1' overhang



24x24

Back

both gables to
match 4x12 pitch
4' oc trusses

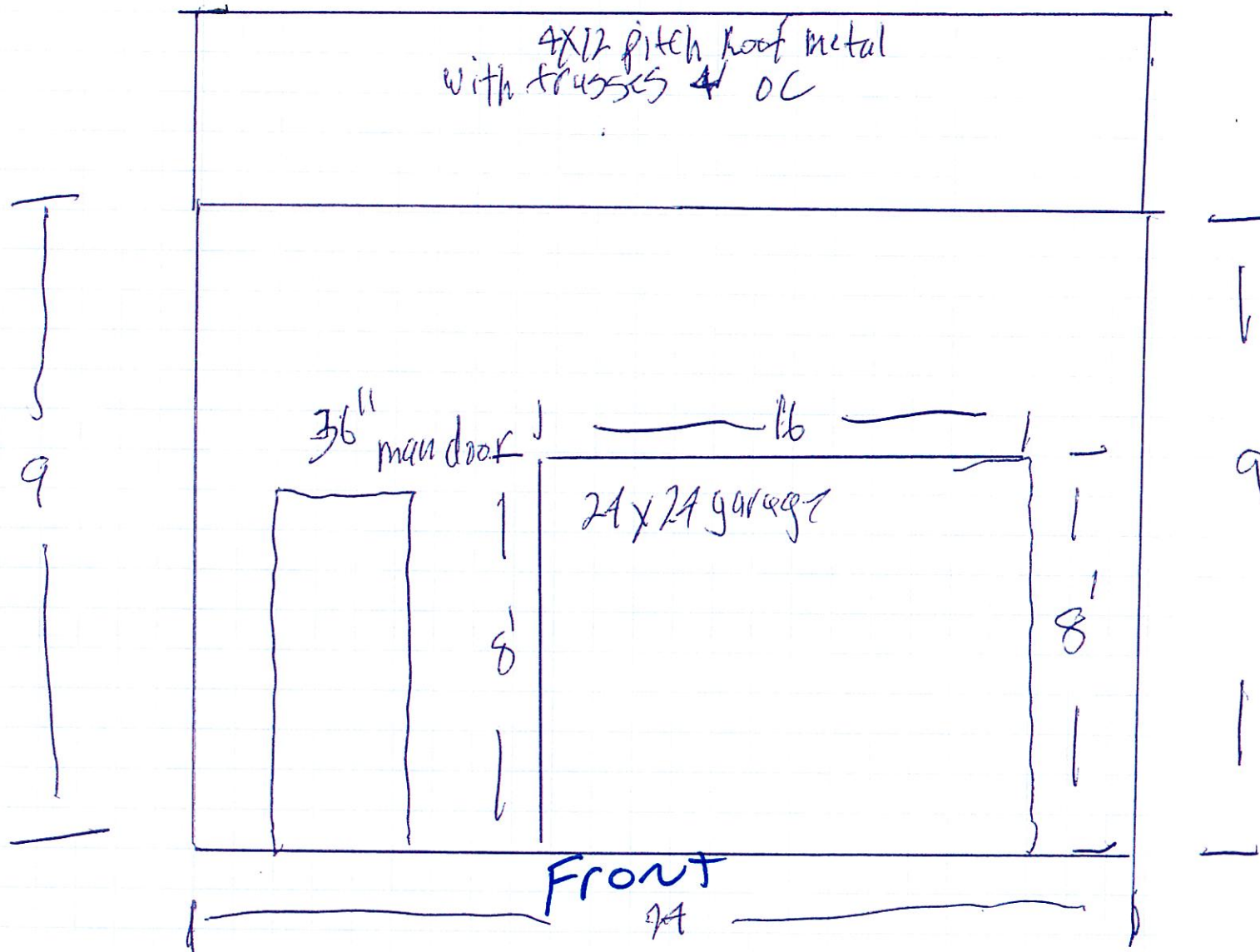


24x24

Side view

not to scale

Martin Popov



notes metal roof 4/12 pitch 4' OC, 2x4 exterior wall with sheathing and vinyl
to match existing 16x8 insulated garage door

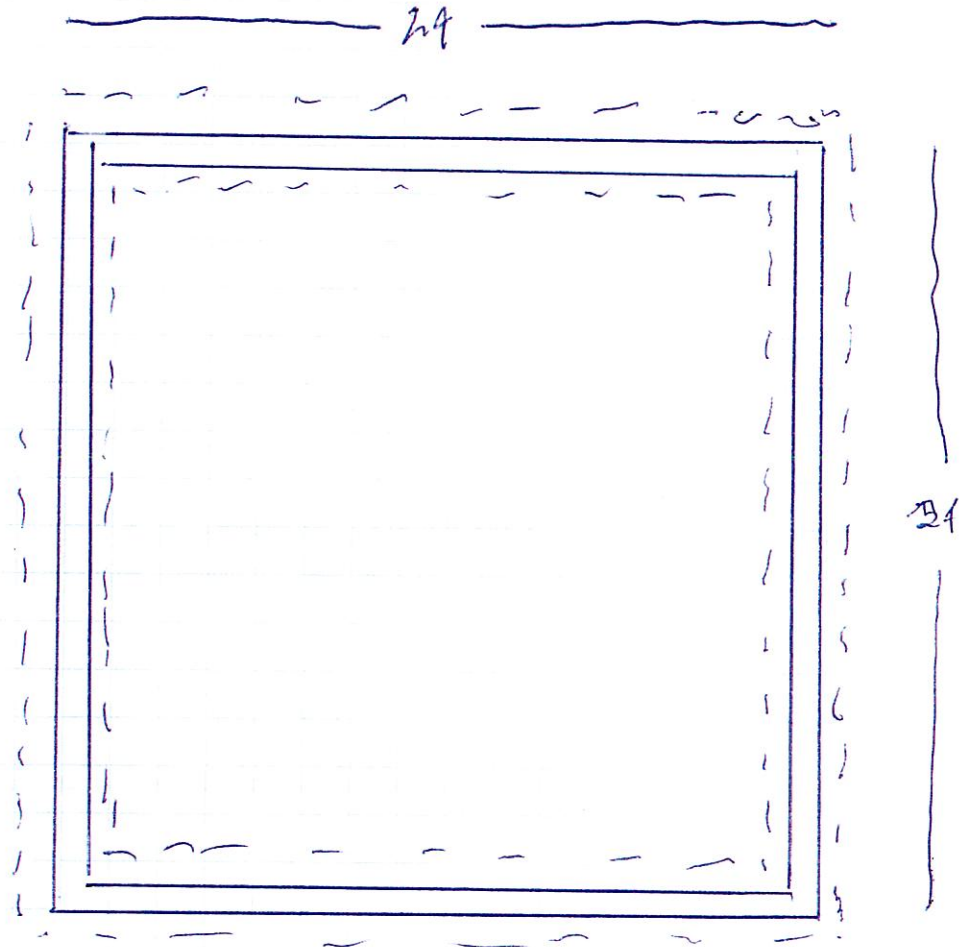
foundation

Martin Popov

Notes
4" block masonry 3
courses

18" x 8" thick concrete footing
with 2 #4 continuous

4" thick concrete floor with
Rebar cross bars



not to scale

11

STAFF REVIEW LETTER

Date: July 23, 2026

Application No.: 2026-ZON-00127

Property Address: 196 S. Oregon Street

DRB Meeting: July 28, 2026

Applicant: Martin Topolov

Project Description: Replacement of the storm-damaged 24-foot by 24-foot detached rear garage in the same footprint, using a 4:12 gable metal roof and vinyl siding to match the existing garage.

Applicable Review: May 2026 Johnstown Design Guidelines — Historic Downtown Residential

Review Item	Finding
Design Context	Residential property within the Historic Downtown Design Review District; replacement of an accessory building requires Design Review Board action.
Proposed Work	Replacement of the storm-damaged detached garage in the same rear-yard footprint.
Placement and Orientation	The garage remains behind the residence and is served by the existing driveway, keeping it secondary to the home.
Scale and Roof Form	24 feet by 24 feet with 9-foot walls, a 4:12 gable roof, and 1-foot roof overhangs.
Exterior Materials	Metal roofing and vinyl siding are proposed to match the existing garage; the metal roof is a preferred material, while vinyl siding is highly discouraged by the Guidelines.
Openings and Streetscape	The front elevation includes a 16-foot by 8-foot garage door and 36-inch service door; one side elevation includes a 32-inch by 32-inch window. Rear placement limits streetscape impact.

RECOMMENDED DETERMINATION

MAJOR CERTIFICATE OF APPROPRIATENESS — APPROVED AS SUBMITTED

The replacement garage retains the existing rear-yard location, footprint, scale, roof form, and general exterior appearance and is consistent with the applicable Historic Downtown Residential Design Guidelines as submitted.

Respectfully Submitted,

Jeffrey A. Szabo

Zoning / Code Enforcement Official

City of Johnstown

ATTACHMENT A

DESIGN GUIDELINES REVIEW

Guideline	Submitted Design	Staff Finding
§3.1.2.1 & §3.1.2.3 — Site Composition / Orientation	Detached garage replacement in the same rear-yard footprint, behind the residence and served by the existing driveway.	The location keeps the garage and garage door secondary to the residence and maintains the established site arrangement.
§3.1.2.2 & §3.1.2.5 — Scale / Building Details	24-foot by 24-foot one-story garage with 9-foot walls, a 4:12 gable roof, 1-foot overhangs, a 16-foot by 8-foot garage door, a 36-inch service door, and one 32-inch by 32-inch side window.	The simple gabled form, modest scale, and limited openings are appropriate for a detached rear accessory building.
§3.1.2.6–§3.1.2.8 — Materials / Color	Metal roofing and vinyl siding are identified to match the existing garage; no separate color change is proposed.	Metal roofing is a preferred material. Vinyl siding is highly discouraged, but the match-existing treatment maintains the established appearance of the rear accessory structure.

Some of the requests below may not apply to your application.

- (1) A dimensioned site plan showing existing conditions including all structures, pavement, curb-cut locations, natural features such as tree masses and riparian corridors, and rights-of-way.
- (2) A dimensioned site plan showing the proposed site change including structures, pavement, revised curb-cut locations, landscaping, property lines and screening of mechanicals.
- (3) Illustration of all existing building elevations from street/ground to scale & picture of project before starting.
- (4) Illustrations of all proposed building elevations to scale & picture of project when it's finished.
- (5) Samples of proposed building materials.
- (6) Color samples for proposed roof, siding, etc.
- (7) Illustrations of all existing site signage including wall and ground.
- (8) Illustrations of proposed signage to scale.
- (9) A dimensioned site plan showing location of existing ground mounted signs.
- (10) A dimensioned site plan showing the proposed location of ground mounted signs.
- (11) Samples of proposed sign materials.
- (12) Color samples of proposed sign(s).
- (13) Proposed lighting plan for sign(s).
- (14) The applicant shall post one sign per public street frontage of the subject property within fifteen (15) feet of the curb indicating the subject, date, and time for a public hearing. The sign(s) shall be posted at least ten (10) days prior to the scheduled hearing. The sign(s) should be purchased at the Johnstown City Offices and will measure no less than two (2) feet by three (3) feet.

List of Materials that will be used on the project:

1. Metal Standing Seam - Roof
2. _____
3. Sassafras Siding
4. _____
5. Metal - Accent Material
6. _____
7. Painted Wood - Veranda
8. _____

Applicant's Signature: x Date: 7 / 10 / 2024

OFFICE USE ONLY:

OFFICE USE ONLY:

Date Received in Office: 7/10/26 By: [Signature]

Date of Design Review Board Meeting: 7, 28, 26

Date Permit Approved or Denied by Design Review Board: ____/____/____

Conditions Necessary for Approval: _____

City Manager Signature: x _____

Gerken Garage

PERMIT



Solstice

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Project

Gerken Garage

30 N MAIN ST
JOHNSTOWN, OH 43031

Issue6.17.2026

PERMIT

STATE OF OHIO
SHAY L MYERS
ARC.2218602
REGISTERED ARCHITECT

Revisions

Notes

SHEET

COVER PAGE

No.

A000

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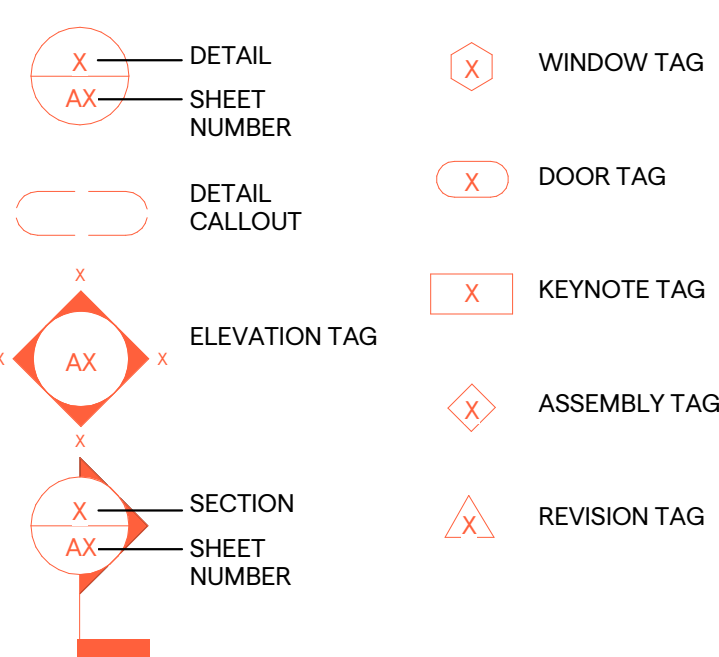
GENERAL NOTES

- A. THE TERM "GC" SHALL MEAN THE GENERAL CONTRACTOR AND ITS SUB-CONTRACTORS
- B. THE GC SHALL THOROUGHLY FAMILIARIZE ITSELF WITH THE CONTRACT DOCUMENTS AND THE SITE. SHOULD THE GC FIND DISCREPANCIES IN, OR OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS, SHOULD THE GC BE IN DOUBT AS TO THEIR INTENT OR MEANING, OR HAS QUESTIONS CONCERNING CONSTRUCTABILITY OR CODE COMPLIANCE, THE GC SHALL SEEK CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. SHOULD A CONFLICT OCCUR BETWEEN THE DRAWINGS AND SPECIFICATIONS THAT IMPLYING GREATER QUANTITY OR QUALITY SHALL PREVAIL.
- C. THE INTENT OF THE CONTRACT DOCUMENTS IS TO PROVIDE A COMPLETE PROJECT. EVERY ITEM NECESSARILY REQUIRED MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN. UNLESS EXPRESSLY STATED, SYSTEMS AND EQUIPMENT SHALL BE COMPLETELY OPERATIONAL. PROVIDE INCIDENTAL, ACCESSORY, AND ANY OTHER ITEMS NOT SPECIFIED, BUT REQUIRED, FOR A COMPLETE AND FINISHED ASSEMBLY.
- D. THE ENTIRE SET OF CONTRACT DOCUMENTS REPRESENT THE PROJECT AS A WHOLE. THE GC IS RESPONSIBLE FOR PROVIDING SUFFICIENT INFORMATION TO ITS SUB-CONTRACTORS TO DETERMINE AND PERFORM THEIR SCOPE OF WORK.
- E. ANY ELECTRONIC CAD AND/OR BUILDING INFORMATION MODELING (BIM) FILES PROVIDED BY THE ARCHITECT OR ITS CONSULTANTS IS SOLELY TO ASSIST THE GC IN PREPARATION OF SHOP DRAWINGS AND/OR LAYOUT OF THE PROJECT. CAD AND BIM FILES ARE NOT A PART OF THE CONTRACT DOCUMENTS AND ANY INFORMATION CONTAINED THEREIN DOES NOT SUPERSEDE ANY INFORMATION ON THE CONTRACT DOCUMENTS.
- F. THE GC IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, COORDINATION OF TRADES, AND SCHEDULING OF THE WORK.
- G. THE GC SHALL NOT REVISE, SUBSTITUTE, OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
- H. NOT EVERY CONDITION MAY BE DRAWN OR DETAILED. CONDITIONS SIMILAR TO DETAILED CONDITIONS SHALL BE CONSTRUCTED TO THE SAME SIZE AND CHARACTER AS THOSE FOR SIMILAR CONDITIONS.
- I. THE GC SHALL FOLLOW THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL CONSULTANT. SHOULD THE GC FIND DISCREPANCIES WITH THE CONTRACT DOCUMENTS, THE GC SHALL SEEK CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- J. DO NOT SCALE DRAWINGS.
- K. PROVIDE NECESSARY BLOCKING IN WALLS, PARTITIONS, AND CEILINGS FOR ITEMS INCLUDING, BUT NOT LIMITED TO: CEILING AND PARTITION-MOUNTED FIXTURES, GRAB BARS, HANDRAILS, TOILET ACCESSORIES, CABINETS, PANELING, COUNTERTOPS, SHELVES, CLOSET RODS, WHITE BOARDS, AND DECORATIVE ELEMENTS.
- O. THE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF SOLSTICE DESIGN STUDIO AND ITS CONSULTANTS AND ARE TO BE USED AS INSTRUMENTS OF SERVICE FOR CONSTRUCTION OF THIS PROJECT ONLY. USE OF THESE DOCUMENTS BY THE GC FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN CONSENT OF SOLSTICE DESIGN STUDIO IS PROHIBITED.

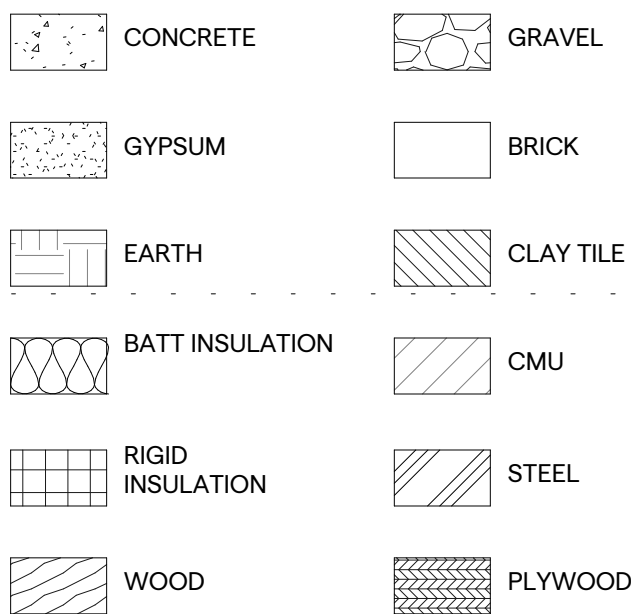
ABBREVIATIONS

AC	AIR CONDITIONING	HM	HOLLOW METAL
AD	AREA DRAIN	HORIZ	HORIZONTAL
AFF	ABOVE FINISH FLOOR	HT	HEIGHT
AGGR	AGGREGATE	INCL	INCLUDED
ALT	ALTERNATE	INSUL	INSULATION
ALUM	ALUMINUM	JT	JOINT
APPROX	APPROXIMATE	L CL	LINEN CLOSET
ARCH	ARCHITECTURAL	LAM	LAMINATE
ASF	ABOVE STRUCTURAL FLOOR	LAV	LAVATORY
AVG	AVERAGE	LL	LIVE LOAD
B/ or BO	BOTTOM OF	LPT	LOW POINT
BD	BOARD	LV	LOW VOLTAGE
BITUM	BITUMINOUS	MAX	MAXIMUM
BLDG	BUILDING	MC	MEDICINE CABINET
BSMT	BASEMENT	MECH	MECHANICAL
CAB	CABINET	MFR	MANUFACTURER
CFM	CUBIC FEET PER MINUTE	MIN	MINIMUM
CL	CENTER LINE	MISC	MISCELLANEOUS
CLG	CEILING	MTL	METAL
CLR	CLEAR	MW	MICROWAVE
CLST	CLOSET	NIC	NOT IN CONTRACT
CMU	CONCRETE MANSONRY UNIT	NO	NUMBER
COD	CO DETECTOR	NOM	NOMINAL
COL	COLUMN	NTS	NOT TO SCALE
CONC	CONCRETE	OC	ON CENTER
CONST	CONSTRUCTION	OSD	OPEN SITE DRAIN
CONT	CONTINUOUS	PAN	PANTRY
CPT	CARPET	PL	PLATE
CT	CERAMIC TILE	PT	PAINT
D	DEEP	R	RADIUS
DBL	DOUBLE	REF	REFRIGERATOR
DEPT	DEPARTMENT	REQD	REQUIRED
DIA	DIAMETER	REV	REVISION
DIM	DIMENSION	RNG	RANGE
DL	DEAD LOAD	RO	ROUGH OPENING
DN	DOWN	SC	SOLID CORE
DS	DOWNSPOUT	SD	SMOKE DETECTOR
DW	DISHWASHER	SF	SQUARE FEET
DWG	DRAWING	SH	SHELF
EA	EACH	SST	STAINLESS STEEL
EL	ELEVATION	ST	STAINED
ELEC	ELECTRICAL	STD	STANDARD
ELEV	ELEVATOR	STL	STEEL
EMER	EMERGENCY	T&G	TONGUE AND GROOVE
EQ	EQUAL	THK	THICKNESS
EQPT	EQUIPMENT	TYP	TYPICAL
EXIST	EXISTING	UNO	UNLESS NOTED OTHERWISE
EXT	EXTERIOR	VERT	VERTICAL
FDTN	FOUNDATION	VIF	VERIFY IN FIELD
FLR	FLOOR	W	WIDE
FP	FIRE PLACE	W/D	WASHER / DRYER
FURN	FURNACE	WC	WATER CLOSET
GA	GAGE or GAUGE	WD	WOOD
GC	GENERAL CONTRACTOR	WH	WATER HEATER
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	WIC	WALK-IN CLOSET
GYP BD	GYPSUM BOARD	WP	WATERPROOF
HC	HOLLOW CORE	WWF	WELDED WIRE FABRIC

SYMBOL LEGEND



MATERIAL LEGEND



PROJECT DATA

PROJECT NARRATIVE:
NEW CONSTRUCTION OF A DETACHED GARAGE

PROJECT ADDRESS:
30 N MAIN ST
JOHNSTOWN, OH 43031

PROJECT LOCATION:
PARCEL # 053-178884-00.000

APPLICABLE BUILDING CODES:
- 2019 OHIO RESIDENTIAL CODE (ORC)
- 2024 OHIO PLUMBING CODE (OPC)
- 2024 OHIO MECHANICAL CODE (OMC)
- 2021 OHIO ENERGY CODE
- 2023 OHIO ELECTRICAL CODE

ZONING INFORMATION
- REFER TO SITE PLAN, A100

CONSTRUCTION TYPE
- TYPE VB, LIGHT WOOD FRAME

IECC CLIMATE ZONE
- 5A, LICKING COUNTY

VICINITY MAP



PROJECT LOCATION

DRAWING INDEX

SHEET NO.	SHEET TITLE	REV NO.
GENERAL		
A000	COVER PAGE	
A001	PROJECT INFO	
ARCHITECTURAL		
A101	SITE PLAN + EXTERIOR MATERIALS	
A211	CONSTRUCTION PLANS	
A212	ROOF CONSTRUCTION PLAN	
A221	POWER + LIGHTING AND REFLECTED CEILING PLANS	
A301	EXTERIOR ELEVATIONS	
A401	BUILDING SECTIONS	
A411	WALL SECTIONS	
A501	EXTERIOR DETAILS	
A901	3D VIEWS	

PROJECT DIRECTORY

OWNER-BUILDER
DUSTIN GERKEN
30 N MAIN ST
JOHNSTOWN, OH 43031
PH: 614.560.0965
DG@DUSTINGERKEN.COM

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SUITE 1300 PMB 92635
SLC, UT 84111
CONTACT: CAROLINE WALLACE
PH: 801.558.7705
CAROLINE@SOLSTICE.DESIGN



AERIAL VIEW FROM N KASSON STREET

Project

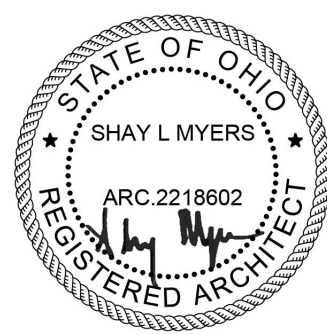
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Revisions

Notes

SHEET

As indicated

PROJECT INFO

No.

A001

EXTERIOR MATERIALS

WD1 - PRIMARY CLADDING



4" VERTICAL SASSAFRAS CLADDING

MT2 - SECONDARY CLADDING



LACQUERED 11 GA. HOT ROLLED
STEEL SHEET

MT1 - ROOFING



12" STANDING SEAM ROOFING,
CHARCOAL GRAY



MARVIN VIVID FIBERGLASS
WINDOWS & DOORS, EBONY FRAME

ZONING ANALYSIS

PARCEL NO.	30 N MAIN ST, JOHNSTOWN, OH 43031	
ZONING DESIGNATION	GCC-1	
PROPERTY AREA	+/- 13,710 SF (0.314 AC)	
	REQUIRED	PROPOSED
MAX BUILDING HT.	24'	16'
FRONT SETBACK	N/A	N/A
INTERIOR SIDE SETBACK	5'	8'-4"
REAR SETBACK	5'	34'-6"
MAX COMBINED AREA OF ACCESSORY STRUCTURES	GREATER THAN 576 SF OR 30% OF PRINCIPAL STRUCTURE ALLOWED IN NON-RESIDENTIAL ZONE W/ CERT OF APPROPRIATENESS	1,050 SF (72% OF PRINCIPAL STRUCTURE)
TOTAL BUILDING LOT COVERAGE		2,500 SF (18%)
TOTAL ACCESSORY BUILDING LOT COVERAGE		1,050 SF (7.7%)

SITE PLAN KEYNOTES

- 1 LINE OF EXTERIOR WALL OF STRUCTURE
- 2 MINI SPLIT OUTDOOR UNIT
- 3 EXISTING WOOD FENCE
- 4 NEW SEWER TAP AT STREET FOR UTILITY SINK
- 5 NEW WATER TAP AT STREET
- 6 NEW CONCRETE PATH ALONG BUILDING

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Notes

GENERAL SITE PLAN + UTILITIES NOTES

- 1 PROPERTY DIMENSIONS & EXISTING SITE CONDITIONS ARE TAKEN FROM LICKING COUNTY GIS. REFER TO PROPERTY SURVEY FOR LEGAL DESCRIPTIONS AND EXISTING CONDITIONS.
- 2 HARDSCAPE TO SLOPE AWAY FROM BUILDING AT 2% MIN SLOPE
- 3 LANDSCAPE TO SLOPE AWAY FROM BUILDING AT 5% MIN SLOPE FOR A DISTANCE OF 10'-0" FROM BUILDING
- 4 GENERAL CONTRACTOR TO COORDINATE ALL INCOMING UTILITIES

SYMBOL LEGEND

- PROPERTY LINE
- SETBACK
- FENCE

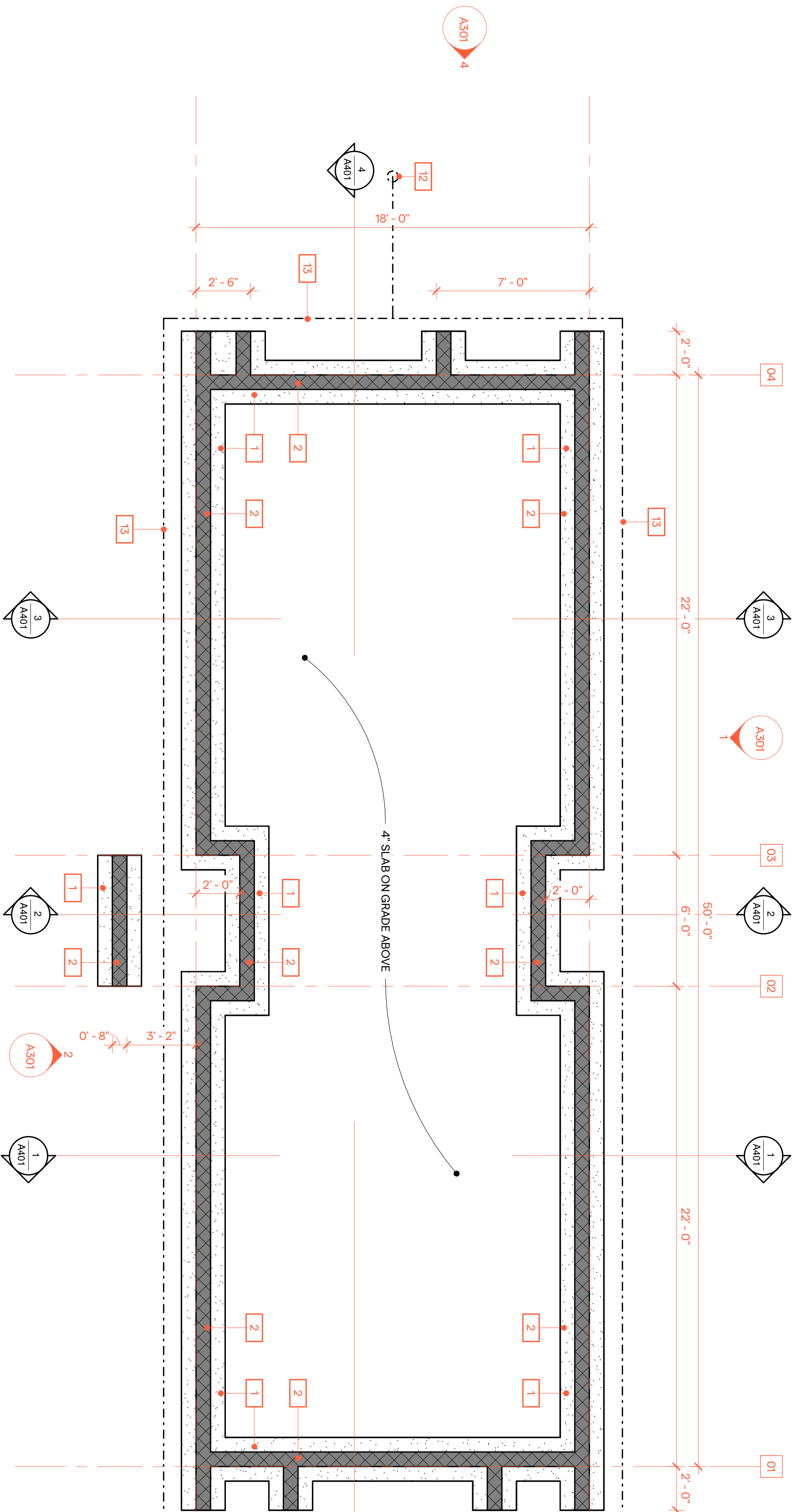
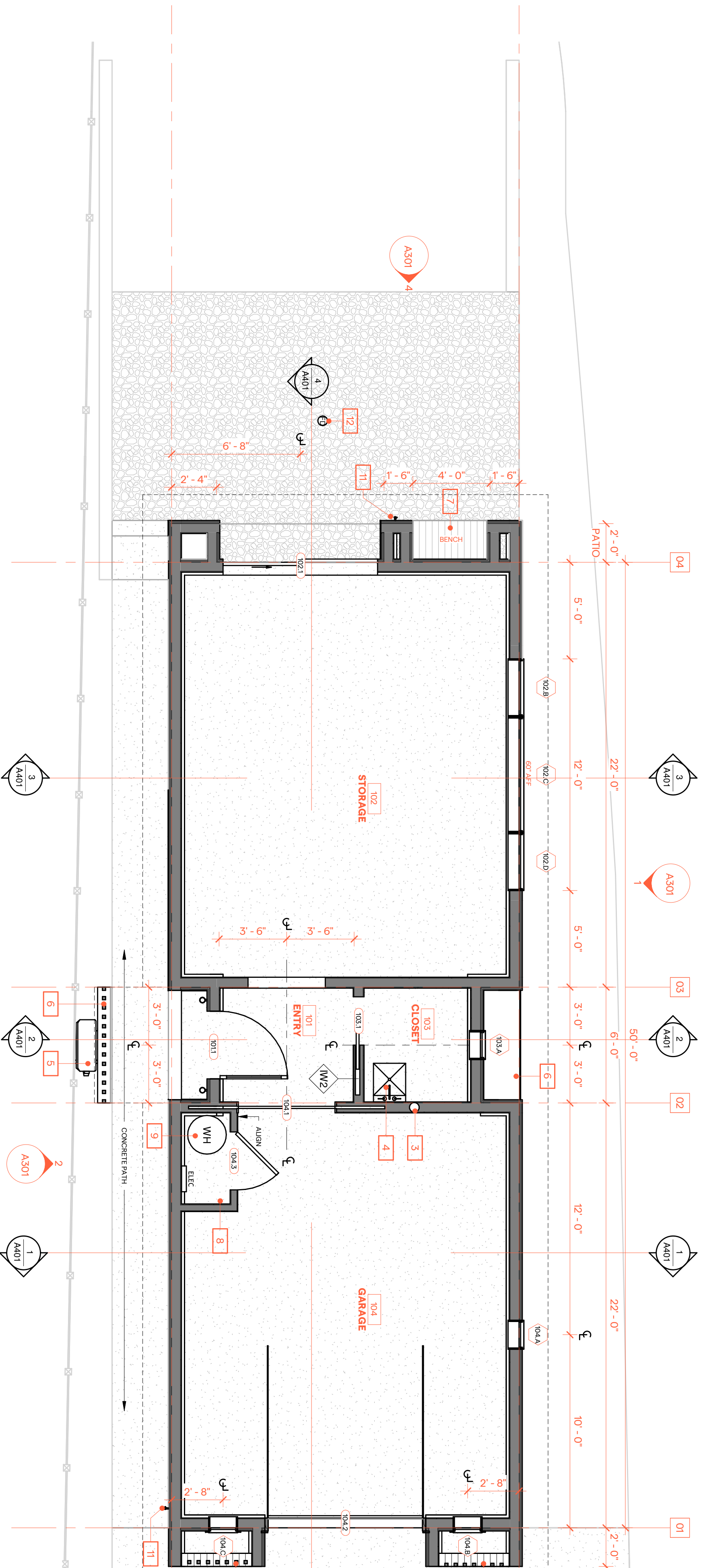
SHEET

1/16" = 1'-0"

SITE PLAN +
EXTERIOR
MATERIALS

No.

A101

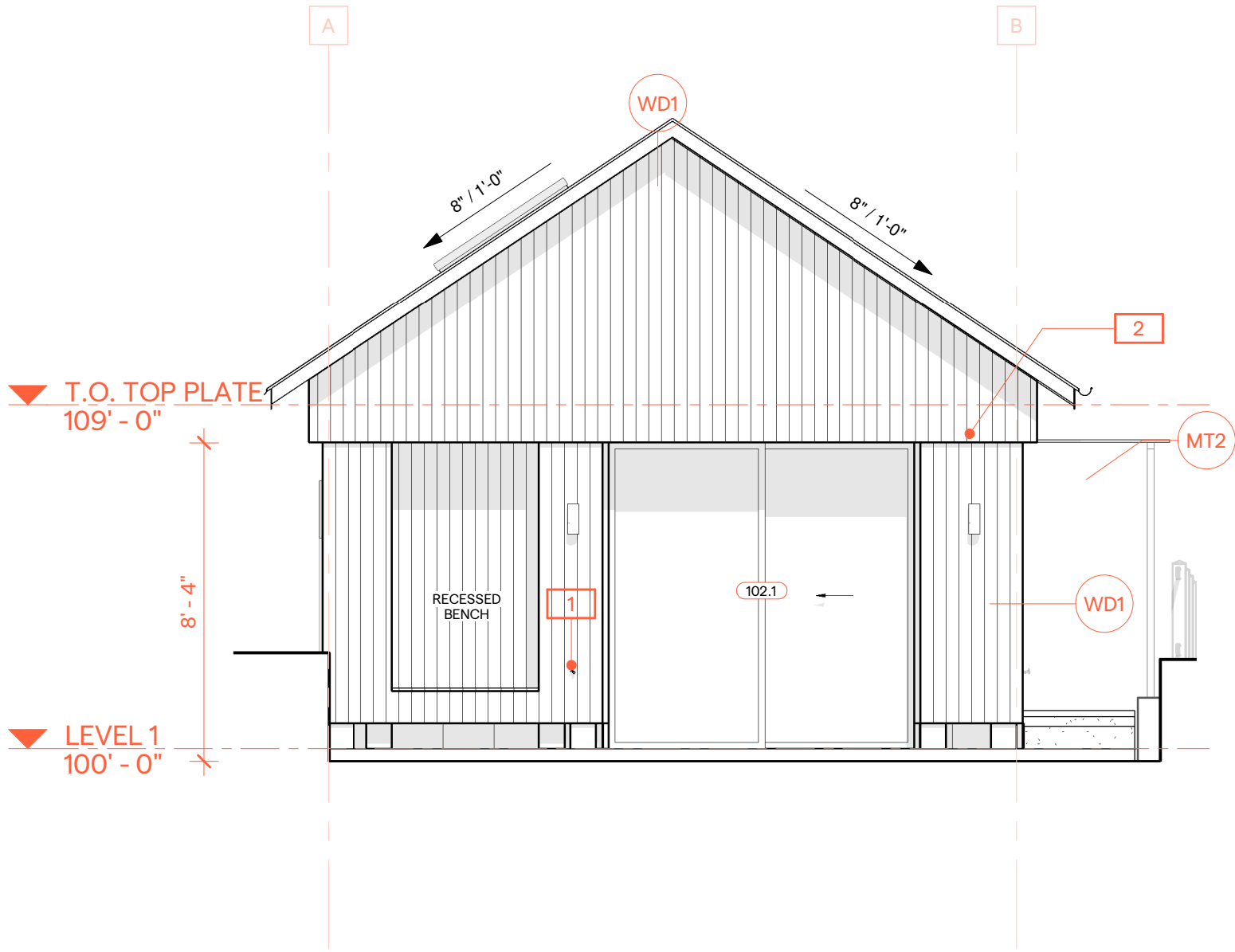


DOOR SCHEDULE

TAG	DOOR	HEIGHT	WIDTH	OPERATION	GLAZING	HARDWARE	NOTES
101.1	7' - 0"	3' - 6"	SWING				
102.1	8' - 0"	8' - 0"	SLIDING				
103.1	7' - 0"	2' - 6"	pocket				
104.1	7' - 0"	5' - 0"	DOUBLE POCKET				
104.2	8' - 0"	8' - 0"	OVERHEAD				CLAD IN 4" VERTICAL SASSAFRAS
104.3	7' - 0"	3' - 0"	SWING				

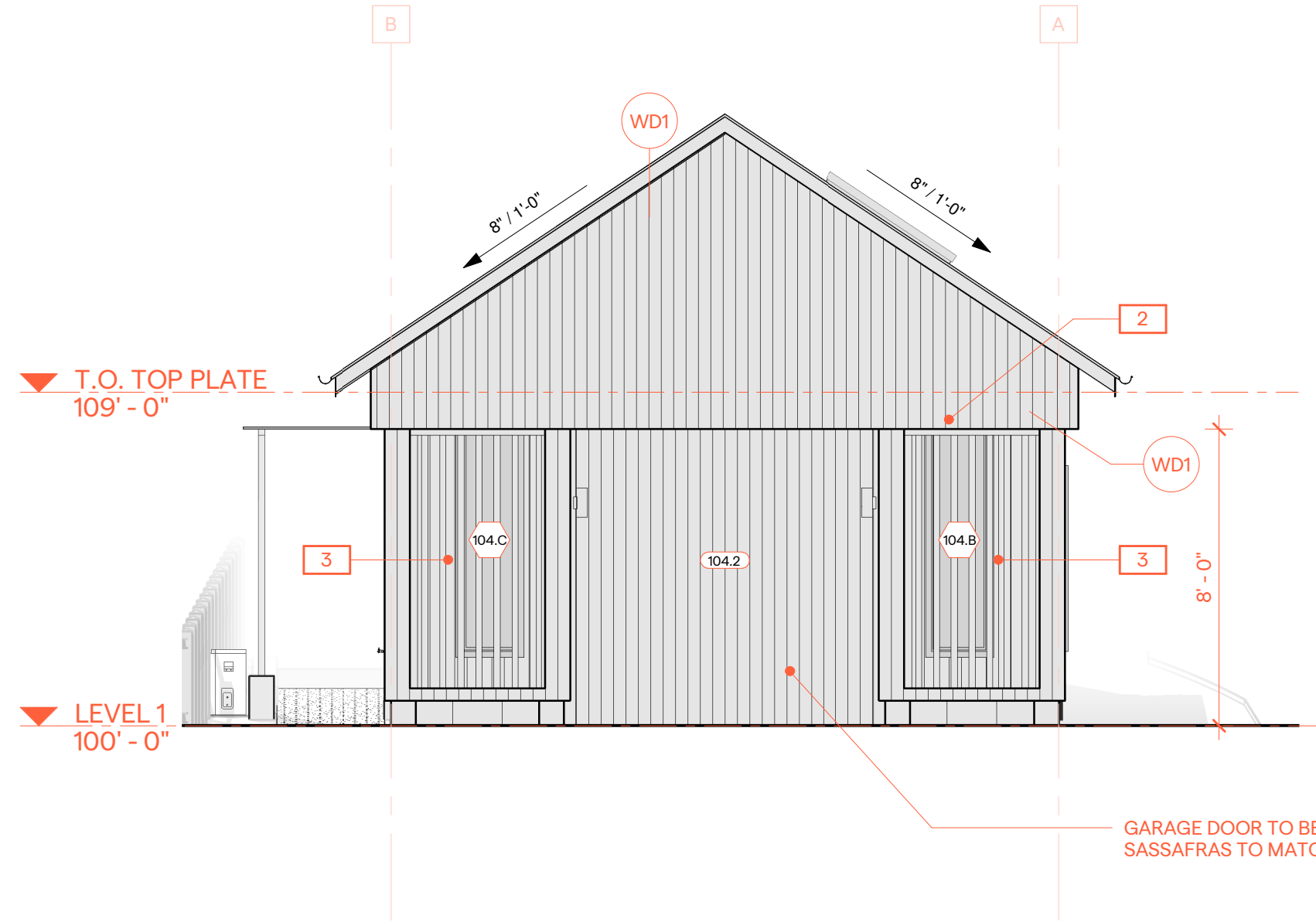
WINDOW SCHEDULE

TAG	SIZE	HEIGHT	OPERATION	SILL HEIGHT	HEAD HEIGHT	NOTES
102.B	3' - 0"	1' - 6"	FIXED	5' - 6"	7' - 0"	
102.C	6' - 0"	1' - 6"	FIXED	5' - 6"	7' - 0"	
102.D	3' - 0"	1' - 6"	FIXED	5' - 6"	7' - 0"	
103.A	1' - 6"	5' - 0"	FIXED	2' - 0"	7' - 0"	
104.A	1' - 6"	5' - 0"	FIXED	2' - 0"	7' - 0"	
104.B	1' - 6"	6' - 0"	FIXED	2' - 0"	8' - 0"	
104.C	1' - 6"	6' - 0"	FIXED	2' - 0"	8' - 0"	
200.A	2' - 0"	4' - 0"	SKYLIGHT			
200.B	2' - 0"	4' - 0"	SKYLIGHT			



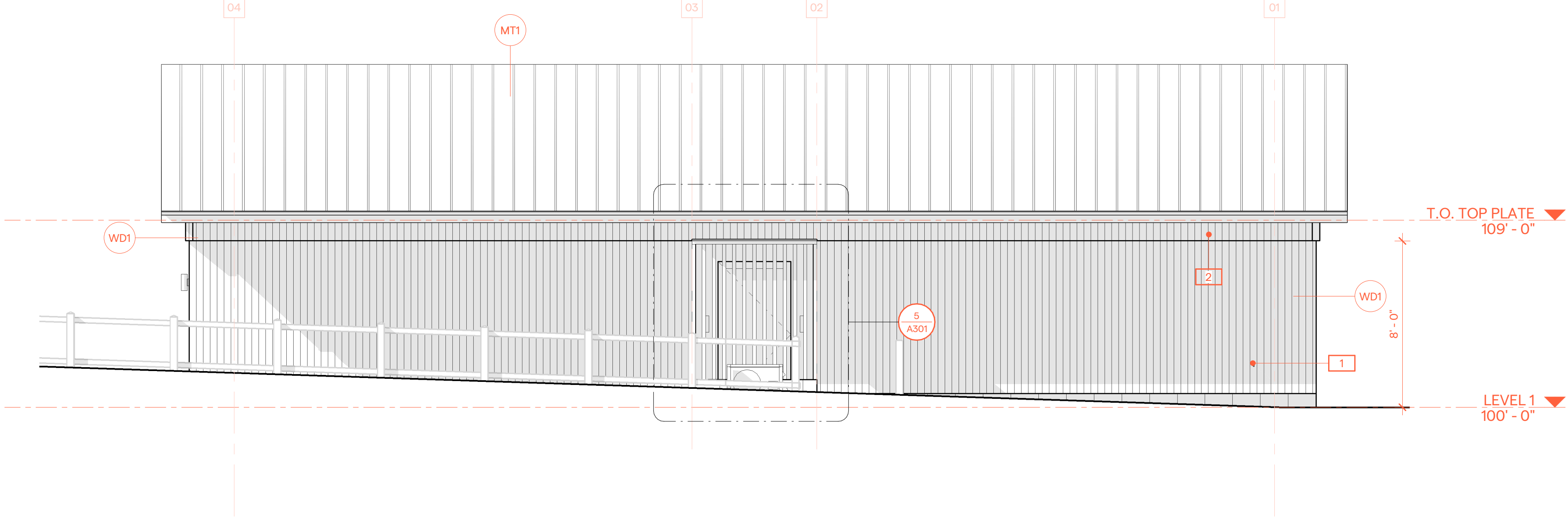
4 WEST ELEVATION

1/4" = 1'-0"



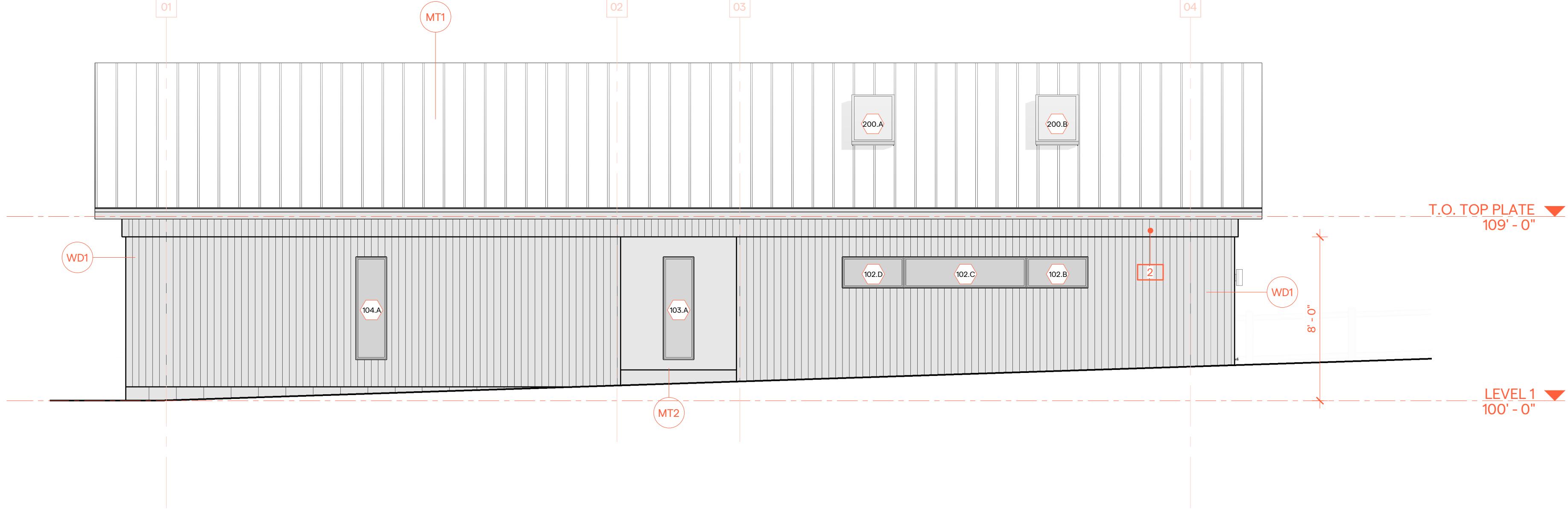
3 EAST ELEVATION

1/4" = 1'-0"



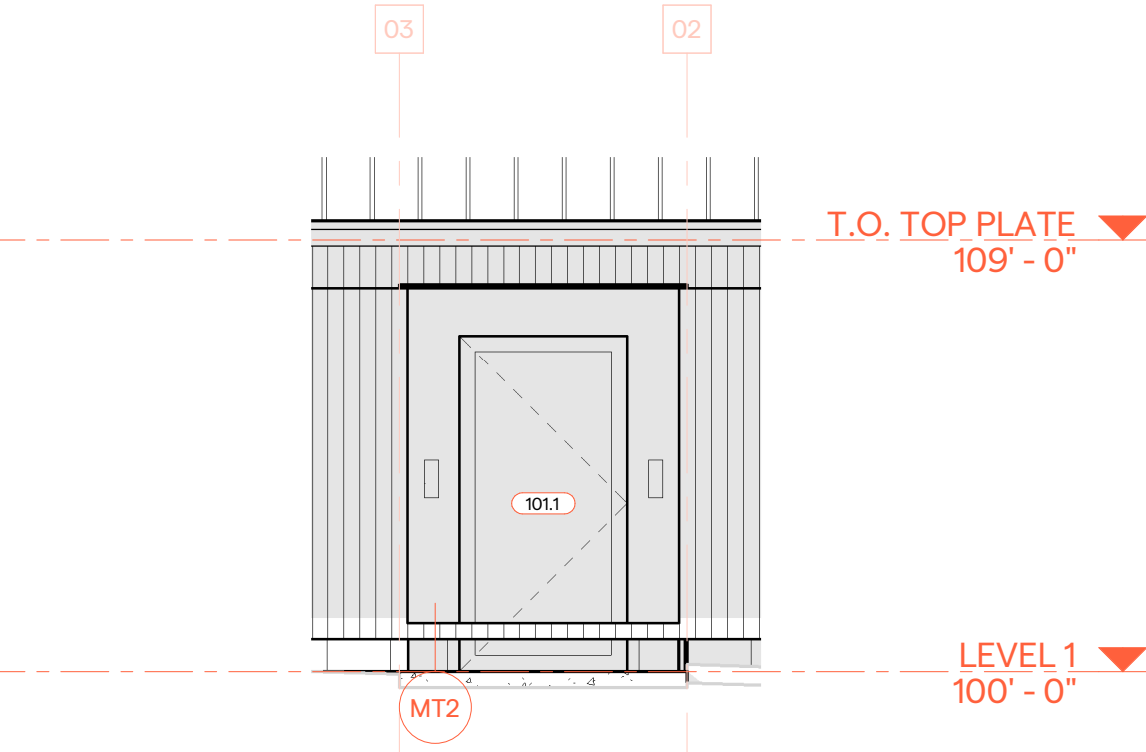
2 SOUTH ELEVATION

1/4" = 1'-0"



1 NORTH ELEVATION

1/4" = 1'-0"



5 ENTRY ELEVATION

1/4" = 1'-0"

EXT ELEVATION KEYNOTES

- HOSE BIBB
- PROVIDE DEEPER RAINSCREEN BEGINNING AT 8'-0" ELEVATION FOR CLADDING DETAIL
- SASSAFRAS WOOD SCREEN

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EXTERIOR FINISHES

- WD1 4" VERTICAL SASSAFRAS CLADDING
- MT1 12" STANDING SEAM METAL ROOF, CHARCOAL GRAY
- MT2 HOT ROLLED STEEL SHEET
- CMU 8"x16" CONCRETE MASONRY UNIT

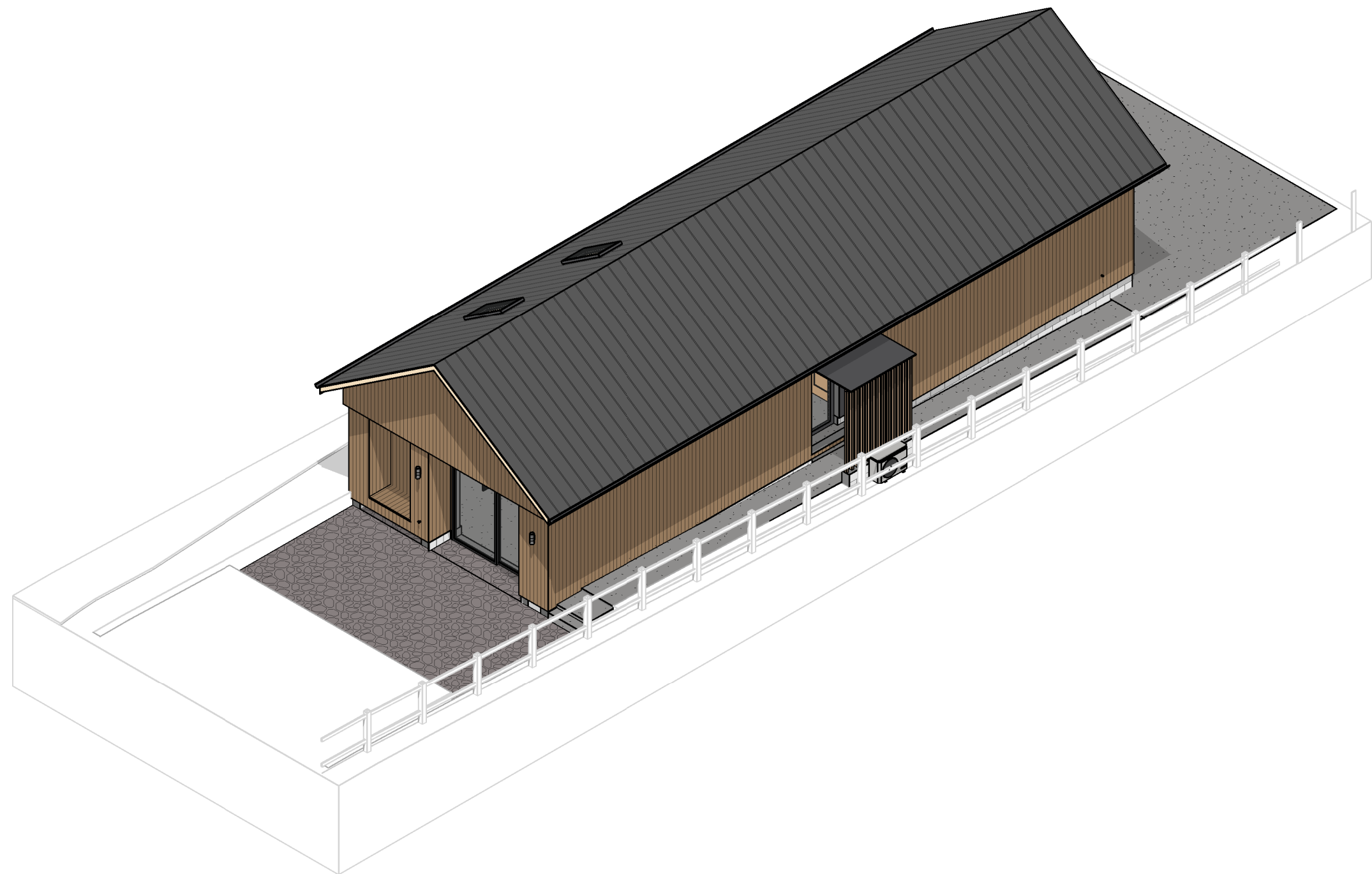
Sheet

1/4" = 1'-0"

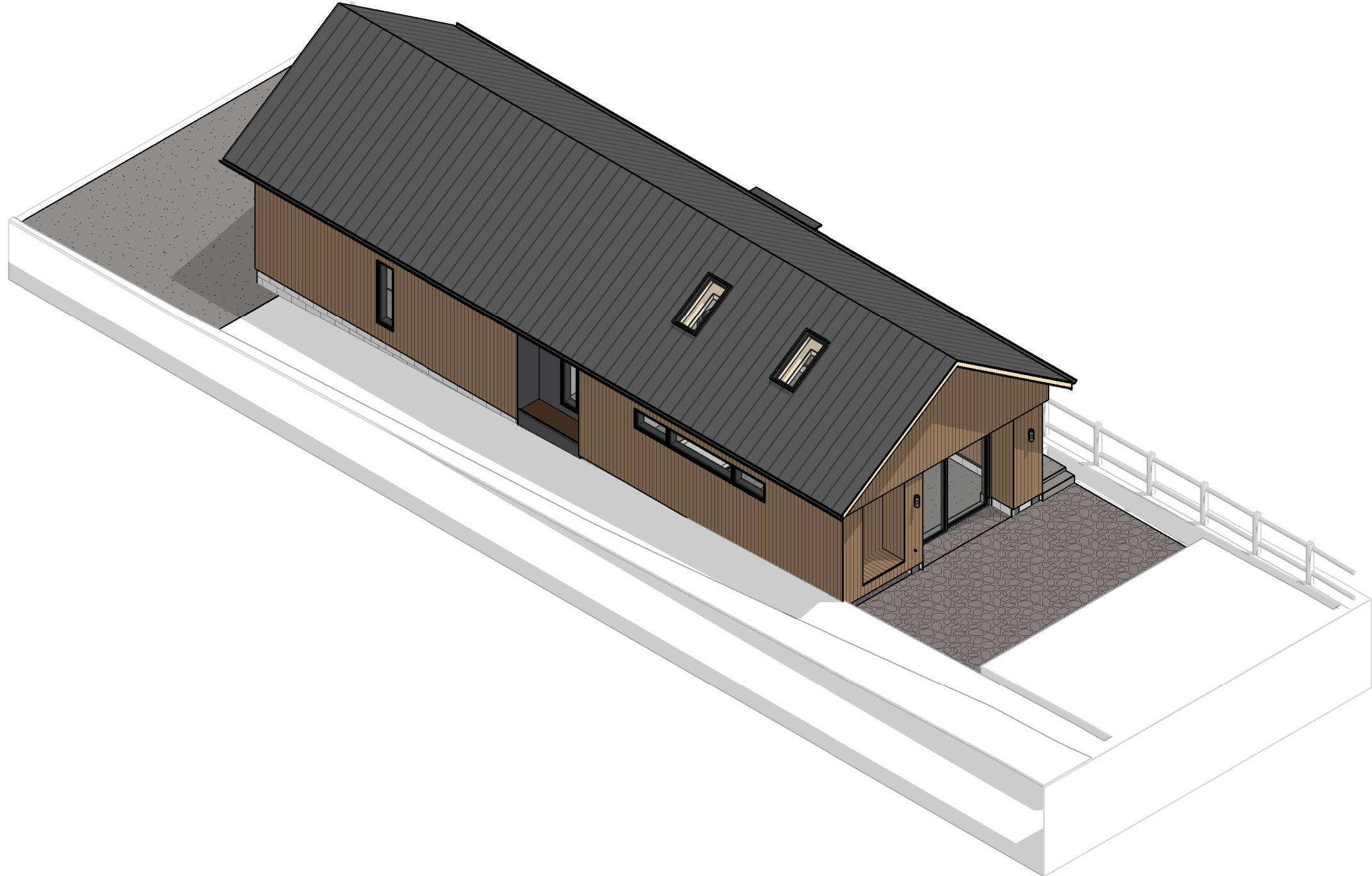
EXTERIOR
ELEVATIONS

No.

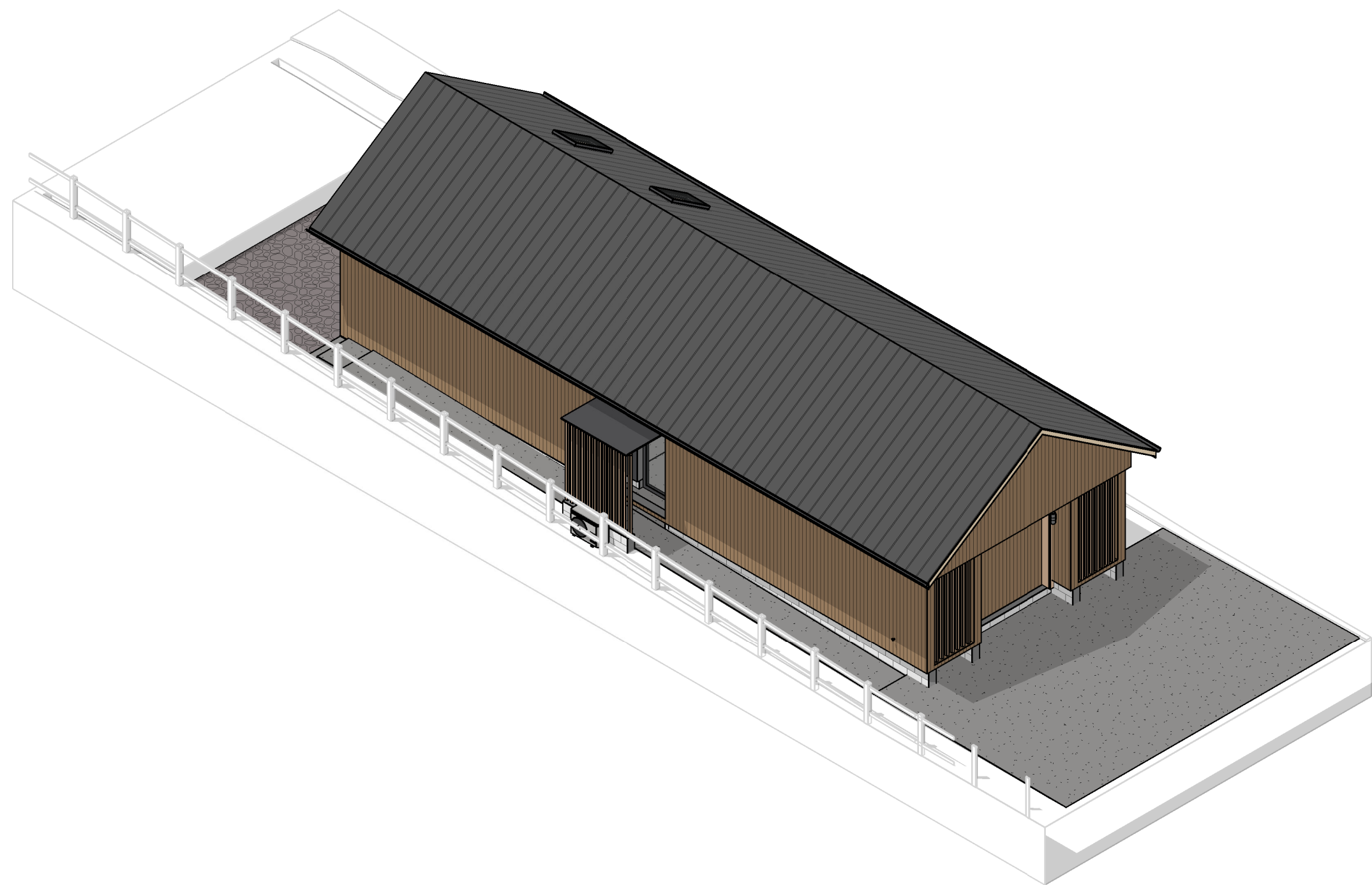
A301



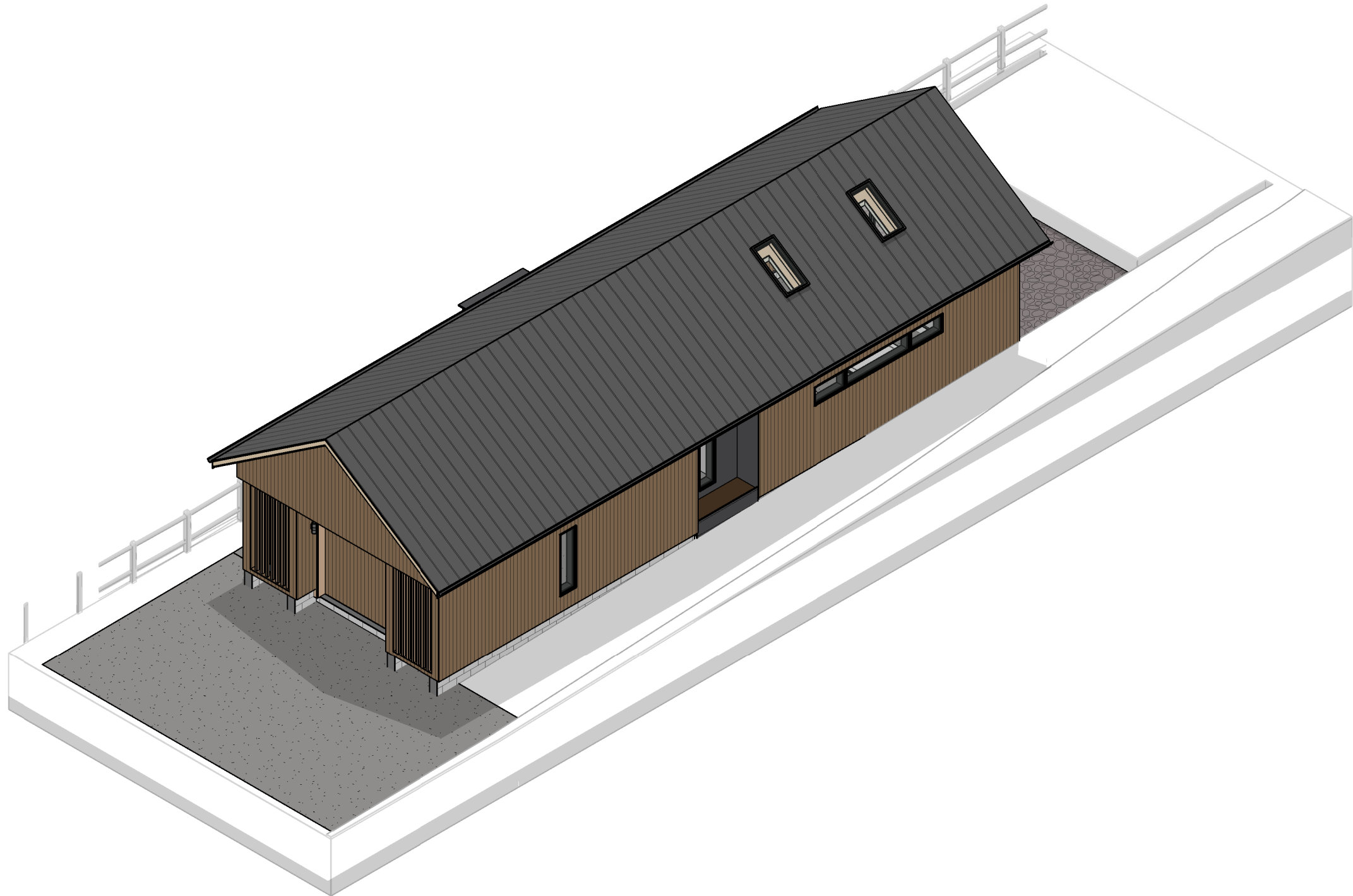
3 3D FROM SOUTHWEST



2 3D FROM NORTHWEST



4 3D FROM SOUTHEAST



1 3D FROM NORTHEAST

PROPERTY INFORMATION

Property Location:	30 N Main Street	Property Owner:	Dustin Gerken
Comp Plan Land Use Designation:	Downtown	Signature Street	Yes
Existing Zoning Designation:	General Community Commercial (GCC-1)	Design Review District:	Historic Downtown - Residential

BACKGROUND INFORMATION

The applicant is requesting a Certificate of Appropriateness for construction of a detached accessory structure to accompany an existing single-family home. The building is intended to include vehicle parking and storage space to include walk-through and overhead garage doors. The structure will be located behind the existing single-family home and utilize the existing driveway access onto Kasson Street. The applicant provided plans, renderings, and material selections in the application package. While this property is located on a Signature Street as defined by the adopted guidelines, this structure will only be visible from Kasson Street.

COMPREHENSIVE PLAN REVIEW

The 2024 comprehensive plan designates the subject property as "Commerce Corridor". The description of the Downtown land use included in the comprehensive plan states:

The city's Downtown Core is scaled to maintain the city's village character and experience, with a special focus on creating pedestrian-oriented spaces and buildings. The Downtown Core also provides small to medium-sized commercial spaces to support the city's small-businesses, shopkeeper community and its local workforce.

Reviewer Comment: The site is currently developed with a single-family home with frontage on Main Street. The continued occupancy and use of these homes adds to the character of downtown and maintains the pedestrian-oriented nature of the downtown area.

EXISTING ZONING SUMMARY

Chapter 1155.01 establishes the purpose of the General Community Commercial (GCC-1) zoning district which states: "The purpose of the GCC-1 District is to promote and foster the economic and physical revitalization of Johnstown's historic town center, while recognizing the unique physical characteristics of the area and preserving historic mixed use and pedestrian focus."

Reviewer Comment: The proposed building is part of an existing single-family residence. This request aligns with the intent of the GCC-1 district by continuing the historic mixed-use of the district.

CRITERIA FOR EVALUATION OF APPLICATION FOR CERTIFICATION OF DESIGN APPROPRIATENESS (CHAPTER 1187.08)

The City's Codified Ordinances establish multiple criteria that must be evaluated when considering a Certificate of Appropriateness. Specifically, Chapter 1187.08 of the Codified Ordinances states: "In considering the appropriateness of any proposed environmental change, including landscaping or exterior signage, the Board or Village staff member shall consider the following, as a part of its review" The specific conditions are noted below with the reviewer's comments following in *italicized* text.

Use and Form

- (1) The proposed building form – size, setbacks, height, location – are consistent with the underlying zoning and achieve the guidelines set forth in the Johnstown Design Guidelines.

Reviewer Comment: The Zoning Inspector completed a review and provided a letter for these items. No conflicts with the proposed structure and the underlying zoning district requirements were identified as part of this review.

- (2) Buildings are designed and located on the site to best support the proposed use, create welcoming and active streets, and maximize shared use and consolidation of vehicular access and parking areas.

Reviewer comment: The proposed accessory structure is arranged to utilize existing streets while preserving the character of the property from Main Street, an identified signature street. Additionally, the proposed garage will utilize Kasson Street for vehicular access continuing the separation of vehicles and pedestrians in this area of Johnstown.

Orientation & Scale

- (1) Buildings are designed to have well-defined front facades and easily identified front doors.

Reviewer Comment: As this is an accessory structure this criterion is not applicable to this request. The proposed structure has clearly defined vehicle and pedestrian access doors.

- (2) Buildings are oriented to face adjacent sidewalks and streets.

Reviewer Comment: The proposed structure location is behind the existing single-family home. The structure is oriented to align with the required setbacks and to allow access to the garage portion of the structure. The structure is proposed to be located near Kasson Street, which is recommended by the design guidelines.

- (3) Buildings are located to create an internal circulation network defined by buildings, as applicable.

Reviewer Comment: This criterion is not applicable to this request.

- (4) Scale of new development aligns with the guidelines for the applicable district in the Johnstown Design Guidelines.

Reviewer Comment: The proposed structure is within the applicable standards of the GCC-1 zoning district and the design guidelines. The structure is similar in size and scale to other detached accessory structures in the district and along this street.

- (5) New development is designed at a scale that complements the small-town character exhibited throughout the community – pedestrian friendly streets with one- to three-floor buildings, generally.

Reviewer Comment: The proposed building is similar in scale to other detached accessory structures and is a typical accessory use associated with single-family homes. The building is oriented close to the street and is a single floor in height.

Walkability & Transparency

- (1) Sidewalks and expanded pedestrian and bicycle connectivity are included in new development within the design review districts.

Reviewer Comment: The proposed structure is an accessory building on a single-family lot. No new sidewalks are proposed as part of this application.

- (2) Commercial and mixed-use development buildings include first-floors with large windows and clearly defined primary entries.

Reviewer Comment: This criterion is not applicable to this request.

- (3) Site features such as outdoor dining, plazas, public seating areas, and bicycle parking are considered and included where feasible in all new developments.

Reviewer Comment: This criterion is not applicable to this request.

Site & Building Details

- (1) The historic character of a property is retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property are avoided.

Reviewer Comment: The proposed structure will be detached from the existing primary structure. No removal of materials on the existing home is included with this application.

- (2) Alterations that have no historical basis and which seek to create an appearance inconsistent or inappropriate to the original integrity of the property is discouraged.

Reviewer Comment: This application is for a detached structure behind the existing home. The proposed accessory use is consistent with the overall use of the property as a single-family home.

- (3) Deteriorated historic features are repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature the new feature matches the original in design, color, texture, and other visual qualities and, where possible, materials.

Reviewer Comment: This request is for new construction; no alterations of existing features are included in this application.

- (4) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials are not be used. The surface cleaning of structures utilize the gentlest means possible.

Reviewer Comment: This criterion is not applicable to this request.

- (5) Proposed additions, exterior alterations, or related new construction do not destroy historic materials that characterize the property. The new work is differentiated from the old and is compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Reviewer Comment: The size, scale, and massing are consistent with the existing home and character of the area. The proposed structure uses similar construction materials and details as the existing home. No conflict between the existing and proposed construction in terms of character or style were identified based on the application materials provided.

- (6) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Reviewer Comment: While this is new construction, the proposed building will not be attached to the existing home. The proposed construction will not impact the existing home if removed in the future.

- (7) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property are preserved.

Reviewer Comment: The proposed accessory structure will use materials that are separate from the existing home and will be representative of the materials and techniques of the timeframe in which the detached accessory structure. The proposed construction is not anticipated to remove or modify any existing features of the current property.

- (8) Site landscaping features a cohesive design that incorporates native materials and complements overall site design.

Reviewer Comment: This criterion is not applicable to this request.

- (9) Site details including building and parking area lighting, site furniture, and other fixtures are of consistent material and complement overall building design and site materials.

Reviewer Comment: As this is a single-family home and the proposed construction is a detached accessory structure, additional site improvements are not required.

Access & Parking

- (1) The applicable guidelines for the design review district are applied to the overall site and building design.

Reviewer Comment: The design guidelines provide less focus on accessory structures like the proposed. The applicable design standards are applied and have been reviewed as part of this report. The existing driveway access will continue to be utilized, and the structure will provide enclosed parking and an additional parking space for vehicles.

- (2) Vehicular parking is consolidated to the greatest extent possible, and access to front doors for pedestrians is provided consistent with the applicable design review district.

Reviewer Comment: As this is a detached accessory structure for a single-family residence, this criterion is not applicable.

- (3) Parking is located and screened as recommended in the design review district.

Reviewer Comment: The purpose of the proposed structure is to provide vehicular parking. Additionally, there is existing shrubbery along Kasson Street that screens the existing driveway.

- (4) Loading areas are located and screened as described in the applicable design review district.

Reviewer Comment: This criterion is not applicable to this request.

CONCLUSION

The reviewer does not find any inconsistencies between the proposed applications and the adopted design guidelines. While not a direct review criterion, the proposed colors align with the recommended color palette for the Historic Downtown design district. Additionally, the proposed standing seam metal roof is of the preferred type identified within the design guidelines.