



Design Review Board Meeting
Tuesday, May 12, 2026 - 5:30 PM
AGENDA

1. Call to Order/Roll Call
2. Public Comment on items not on the agenda
3. Approval of Minutes
 - a. April 28, 2026
4. TABLED Application # 3-27-26 Certificate of Appropriateness; 11546 Johnstown Utica Rd - New Construction Proposed multi-tenant retail
 - a. Application & Staff Report
5. Other Business
6. Adjourn



Design Review Board
 Tuesday, April 28, 2026 - 5:30 PM
 MINUTES

1. Call to Order/Roll Call

Board Chair Heather Green called the Design Review Board to order for Tuesday, April 28, 2026 at 5:30 pm.

Present - Board Chair Heather Green, Andrew Hail, Craig Bohning, Dustin Gerkin

Absent - Franz Stein

Staff present - Jeffrey Sheridan - Interim City Manager, Teresa Monroe - Clerk of Council

Public present - Bob Kessler, John Reed, Barb Watts, Phil Watts, Nick Cermok, Craig Goodwin, Jason Azdeh, Sam Slabaugh, Carter Bean

2. Public Comment on items not on the agenda

No comments

3. Approval of Minutes

a. April 14, 2026

- ACTION:** Heather Green moved to approve; Andrew Hale seconded and all were in favor
- AYES:** Heather Green, Andrew Hale, Craig Bohning, Dustin Gerkin
- NOES:** None
- ABSTAIN:** None

Passed 4 - 0

Motion to amend the agenda; to switch item number four, Application #3-17-26 with item number six, Application # 4-6-26. Moved by Heather Green, seconded by Craig Bohning. Motion carried 4-0.

6. Application # 4-6-26 Certificate of Appropriateness; 26 S Main St - Sign

a. Application & Staff Report

Bob Kessler with Kessler Sign was present. Board review of application and staff report. The window sign will need to be removed when the proposed projecting sign is installed. The sign proposed is for two businesses. Material sample provided by the applicant.

- ACTION:** Heather Green moved to approve; Andrew Hale seconded and the vote was as follows:
- AYES:** Heather Green, Craig Bohning, Dustin Gerkin, Andrew Hale
- NOES:** None
- ABSTAIN:** None

Passed 4 - 0

5. Application # 3-27-26 Certificate of Appropriateness; 11546 Johnstown Utica Rd - New Construction Proposed multi-tenant retail

a. Application & Staff Report

Application for design of two new commercial retail buildings within the existing Kyber Run Shopping Center. Applicant was previously approved for a conditional use for a drive through on one of the proposed buildings. Board review of the application and proposed design and materials. Staff report included with the packet: the conclusion given is that there are no inconsistencies

between the proposed structures and city's adopted design guidelines. Applicant Carter Bean was present for review and discussion. Discussion on the proposed design and desired building materials, changes desired by the board were discussed. Applicant to send design options for review at the next meeting on May 12th.

ACTION: Heather Green moved to table; Craig Bohning seconded and all were in favor.
AYES: Heather Green, Andrew Hale, Craig Bohning, Dustin Gerken
NOES: None
ABSTAIN: None

Passed 4 - 0 TABLED

4. Application # 3-17-26 Certificate of Appropriateness; 11891 Johnstown Utica Rd - Granville Milling Drive Through

a. Application & Staff Report

John Reed, Barb Watts, Phil Watts and Nick Cermick were present for the application by Granville Milling. Applicant was previously approved for a conditional use for a drive-through. The applicant proposes to construct a 7,200 square foot standalone drive-through building as an expansion to the existing business, materials proposed to match the existing building. Staff report included in the packet, conclusion discusses recommendation to review materials proposed for exterior roof and walls, metal cladding is identified as undesirable in the adopted design guidelines. The existing Granville Milling building was constructed prior to the adoption of the design guidelines. Board members had no opposition to the proposed materials as they match the existing building and is preferred for consistency. Discussion on the fixed faux cedar barn door style, applicant agreeable to the style shown in the rendering. Sign design and size shown discussed, COA sign permit will still need to come before this board but a larger sign would be preferred. Exterior lighting fixtures discussed, preferred size and placement, applicant was asked to break up the space better, they will bring design with the sign application. Discussion on the garage doors being offset, applicant stated that they need the space for storage, there is no way to center them. Agreement by the applicant to install a man-door on the front to fill the offset space.

ACTION: Heather Green moved to approve; Andrew Hale seconded and the vote was as follows:
AYES: Heather Green, Craig Bohning, Dustin Gerken, Andrew Hale
NOES: None
ABSTAIN: None

Passed 4 - 0

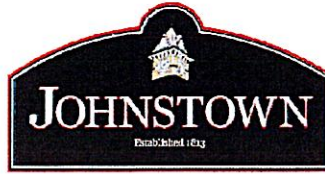
7. Other Business
No further business.

8. Adjourn

ACTION: Heather Green moved to adjourn; Dustin Gerken seconded and all were in favor.
AYES: Heather Green, Andrew Hale, Craig Bohning, Dustin Gerken
NOES: None
ABSTAIN: None

Passed 4 - 0

The meeting ended at 6:39 pm.



CERTIFICATE OF APPROPRIATENESS: CHAPTER #1187

Application Number: 3-27-26 Date: 3, 27, 26

FEES:

Base Fee: \$ 300

Paid Oct 6, 2025

\$60 Signs

Total Fee Amount: \$ 300 Paid: Check # 5812 Cash: \$ _____

(PLEASE PRINT)

1. Applicant: Carter Bean Phone: () - ()
2. Property Address: 800-856 Coshocton Street / 11546 Johnstown Utica City: Johnstown State: OH Zip: 43031
3. Applicant's E-mail: _____
4. Business Owner's Name: T.B.D. Phone: () - ()
5. Contractor's Name: T.B.D. Phone: () - ()
6. Principal Business Activity: Mixed-Use Retail
7. Existing Use of Property: Mixed-Use Retail
8. Square Footage of Proposed Building or Business: 5746 s.f. / 17,175 s.f. / 20,100 sf. sq. ft.
9. Zoning District: GCC2 Number of Off-Street Parking Spaces: 15 PROPOSED
243 EXISTING
268 TOTAL
10. Estimated Cost of Improvements: \$ T.B.D.

IN ADDITION, THE FOLLOWING ITEMS MUST ACCOMPANY THIS APPLICATION:

- *PLEASE READ CITY ORDINANCE #1187 PRIOR TO SUBMITTING APPLICATION*
- *(Conditional) One (1) full set (8.5 x11) of to scale plans and dimensioned drawings showing the property, with all elevations and the location of existing and proposed buildings and alterations are required. Attach any requested, supplemental or necessary documentation. (Required only if asked for by the Zoning Inspector.)*

Some of the requests below may not apply to your application.

- (1) A dimensioned site plan showing existing conditions including all structures, pavement, curb-cut locations, natural features such as tree masses and riparian corridors, and rights-of-way.
- (2) A dimensioned site plan showing the proposed site change including structures, pavement, revised curb-cut locations, landscaping, property lines and screening of mechanicals.
- (3) Illustration of all existing building elevations from street/ground to scale & picture of project before starting.
- (4) Illustrations of all proposed building elevations to scale & picture of project when it's finished.
- (5) Samples of proposed building materials.
- (6) Color samples for proposed roof, siding, etc.
- (7) Illustrations of all existing site signage including wall and ground.
- (8) Illustrations of proposed signage to scale.
- (9) A dimensioned site plan showing location of existing ground mounted signs.
- (10) A dimensioned site plan showing the proposed location of ground mounted signs.
- (11) Samples of proposed sign materials.
- (12) Color samples of proposed sign(s).
- (13) Proposed lighting plan for sign(s).
- (14) The applicant shall post one sign per public street frontage of the subject property within fifteen (15) feet of the curb indicating the subject, date, and time for a public hearing. The sign(s) shall be posted at least ten (10) days prior to the scheduled hearing. The sign(s) should be purchased at the Johnstown City Offices and will measure no less than two (2) feet by three (3) feet.

List of Materials that will be used on the project:

- | | |
|-----------------|----------|
| 1. SEE DRAWINGS | 2. _____ |
| 3. _____ | 4. _____ |
| 5. _____ | 6. _____ |
| 7. _____ | 8. _____ |


List of Contiguous Neighbors and Addresses:

1. KROGER CO	800 W COSHOCTON ST., JOHNSTOWN	ON	43031
Neighbor's Name	Neighbor's Address	State	Zip Code
2. EMERY WILLIAM K & SUSAN K	4396 DUBLIN RD., COLUMBUS	OH	43221
Neighbor's Name	Neighbor's Address	State	Zip Code
3. JP MORGAN CHASE	900 W COSHOCTON ST., JOHNSTOWN	OH	43031
Neighbor's Name	Neighbor's Address	State	Zip Code
4. HUNTINGTON NATIONAL BANK	880 W COSHOCTON ST., JOHNSTOWN	OH	43031
Neighbor's Name	Neighbor's Address	State	Zip Code

- 5 Auto Zone 772 W. Coshocton
 6 Bayby Realty 762 W. Coshocton

The undersigned is applying for a Certificate of Appropriateness Permit for the following use: said permit is to be issued based on the information contained within this application. The

applicant hereby certifies that all information and attachments to this application are true & correct and agrees to follow all applicable laws.

Applicant's Signature: x  Date: 03 / 17 / 26

OFFICE USE ONLY:

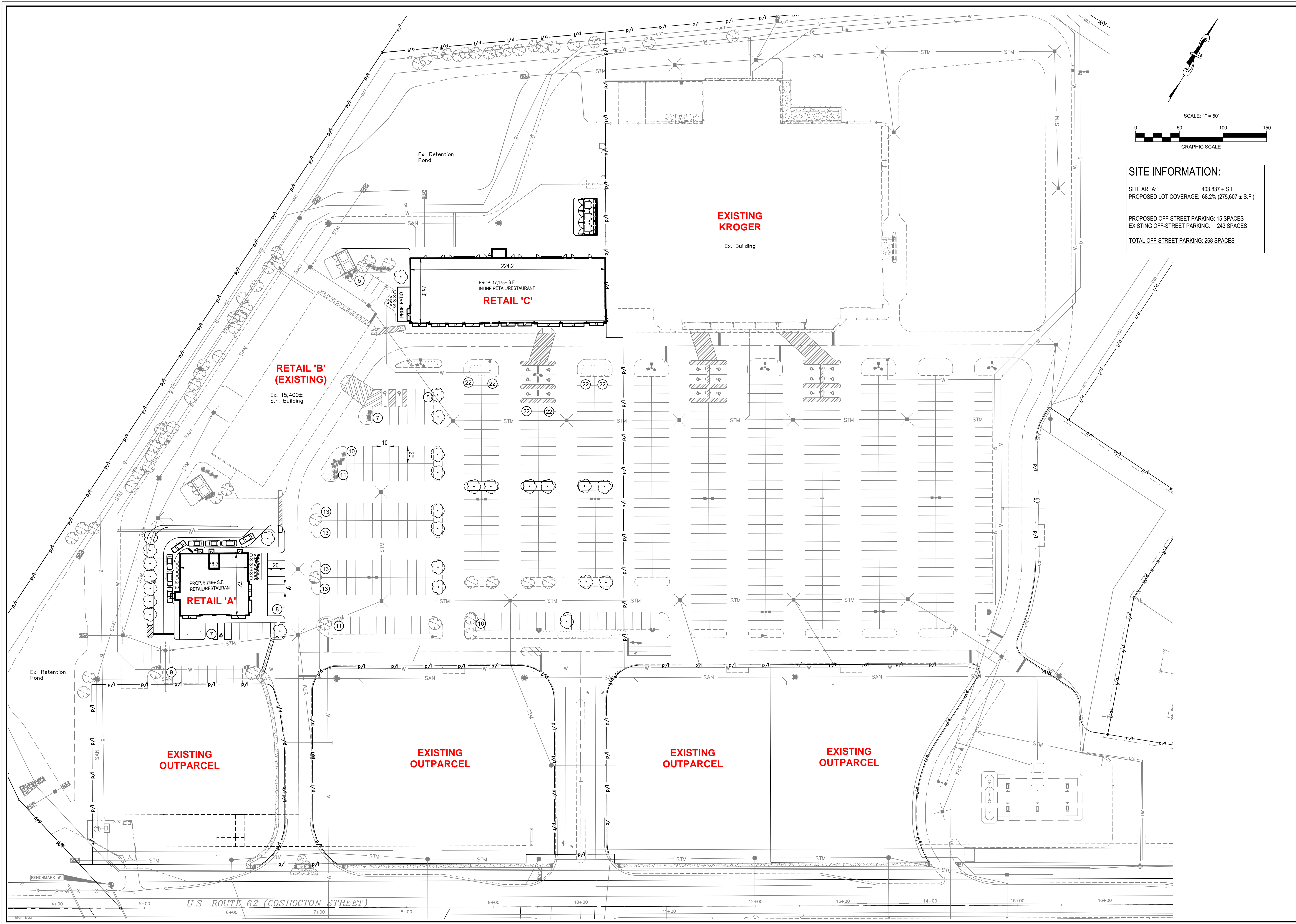
Date Received in Office: 3 / 27 / 26 By: JM

Date of Planning and ~~Zoning~~ ^{DRB} Commission Meeting: 4 / 28 / 26

Date Permit Approved or Denied by ~~Planning~~ ^{DRB} Commission: / /

Conditions Necessary for Approval: _____

City Manager Signature: x _____



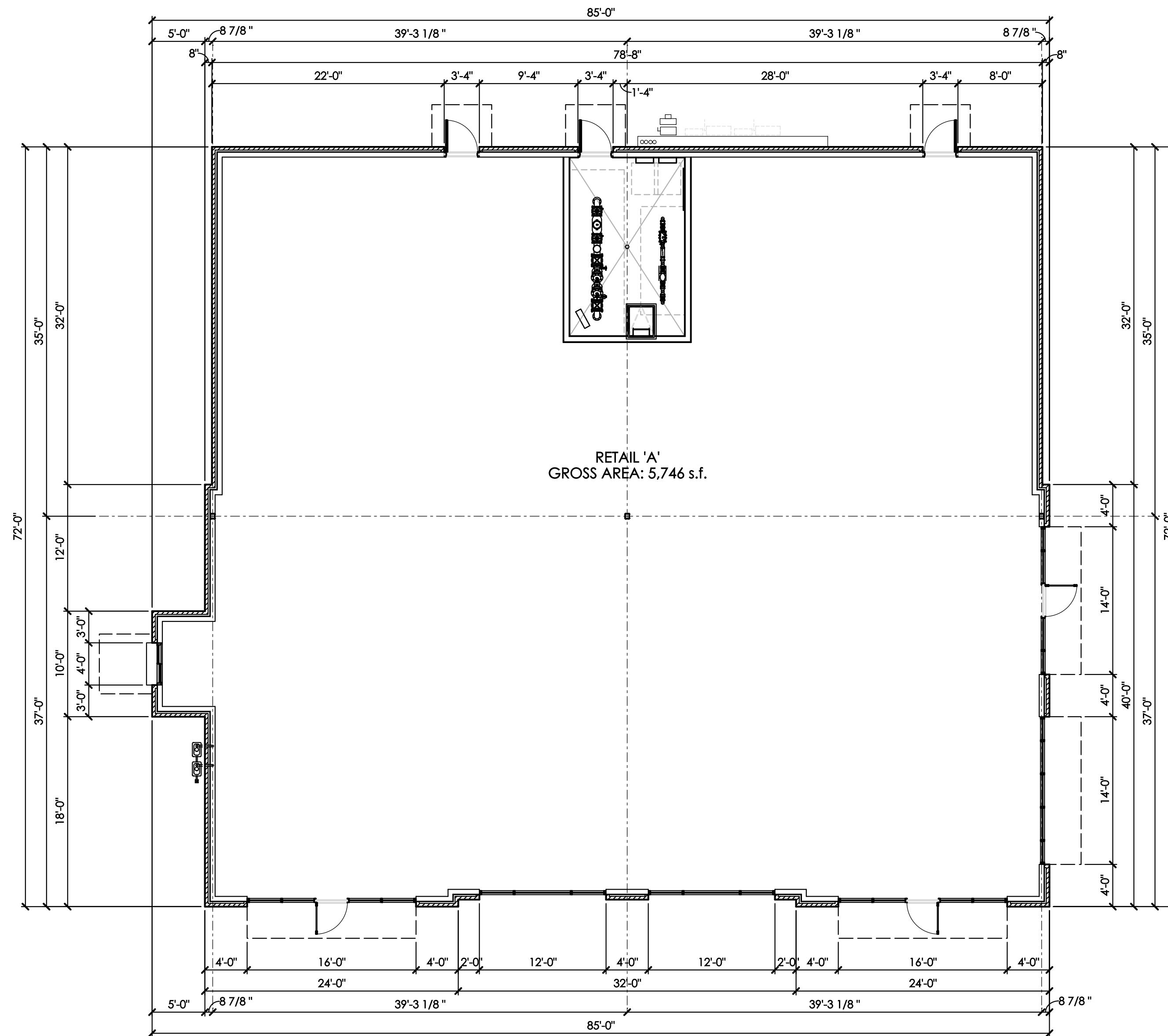
SITE INFORMATION:

SITE AREA: 403,837 ± S.F.
 PROPOSED LOT COVERAGE: 68.2% (275,607 ± S.F.)

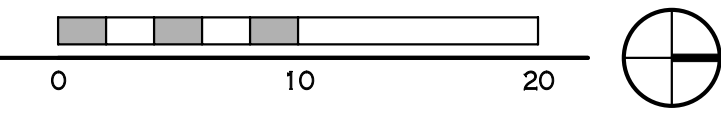
PROPOSED OFF-STREET PARKING: 15 SPACES
 EXISTING OFF-STREET PARKING: 243 SPACES

TOTAL OFF-STREET PARKING: 268 SPACES

V 3 Companies 550 Polaris Parkway Suite 250 Westerville, OH 43082 614.761.1866 • phone www.v3ccc.com	CONCEPT PLAN 1 KYBER RUN PLAZA JOHNSTOWN OHIO	
	S02	
DRAWING NO. 1	PROJECT NO.: PROJNUM PROJECT MANAGER: SEF	DESIGNED BY: KMM DRAWN BY: KMM
ORIGINAL ISSUE DATE: 03/18/2026	NO. DATE DESCRIPTION	REVISIONS



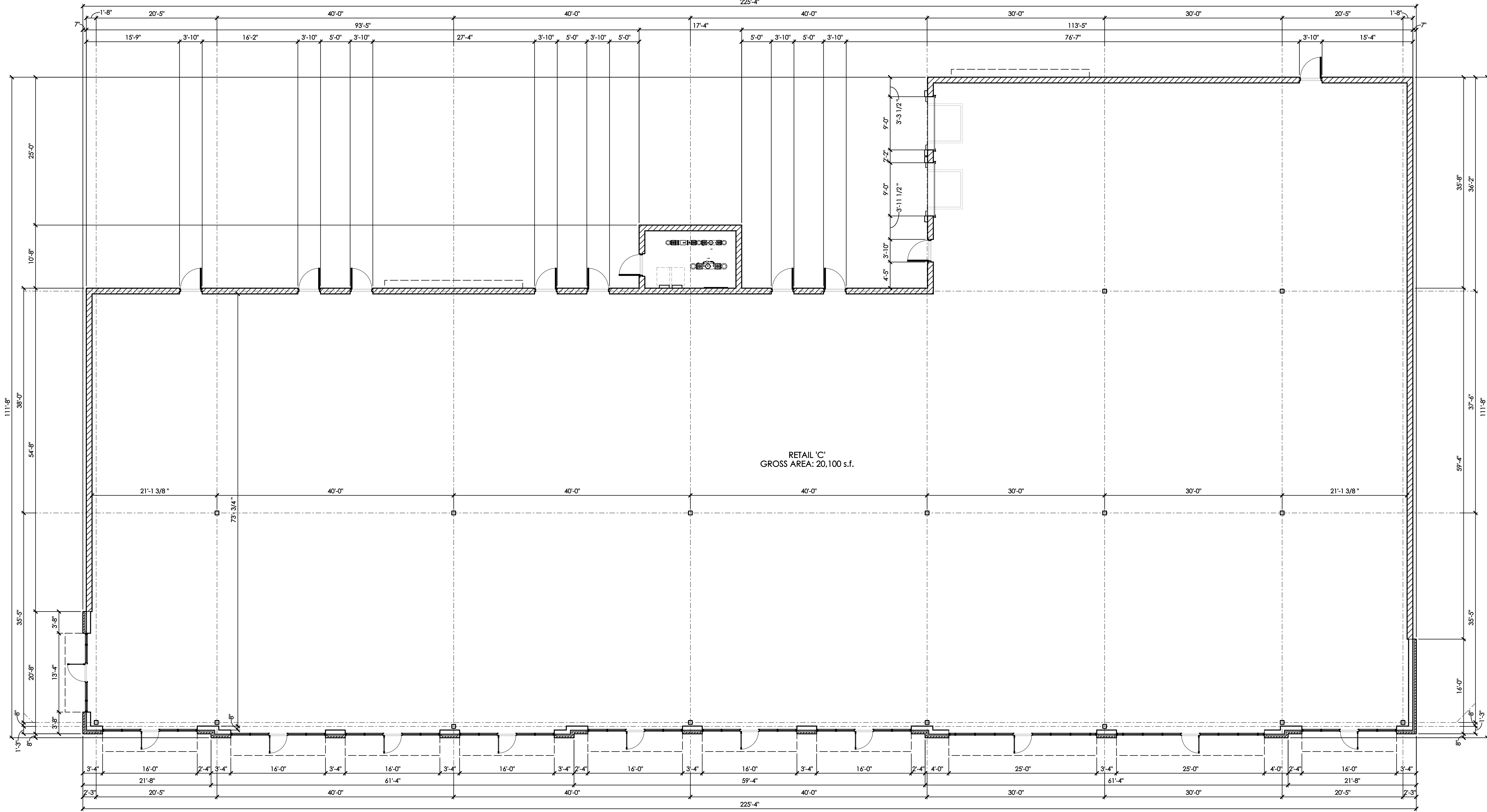
A FLOOR PLAN - RETAIL BUILDING 'A'
SCALE: 1/8" = 1'-0"



DRAWING STATUS	
STATUS	DATE
ZONING	MARCH 17, 2028

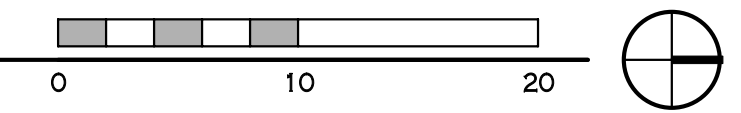
DRAWING TITLE
**RETAIL 'A'
FLOOR PLAN**

DRAWING NUMBER
A1.1-A



A FLOOR PLAN - RETAIL 'C' (JUNIOR ANCHOR ALTERNATE)

SCALE: 1/8" = 1'-0"



BEAN

J. CARTER BEAN ARCHITECT
2251 ACCOY ROAD
COLUMBUS, OH 43220

fillmore

GALLAS NADEH DEVELOPMENT

PASSOV GROUP
COMMERCIAL BROKERAGE

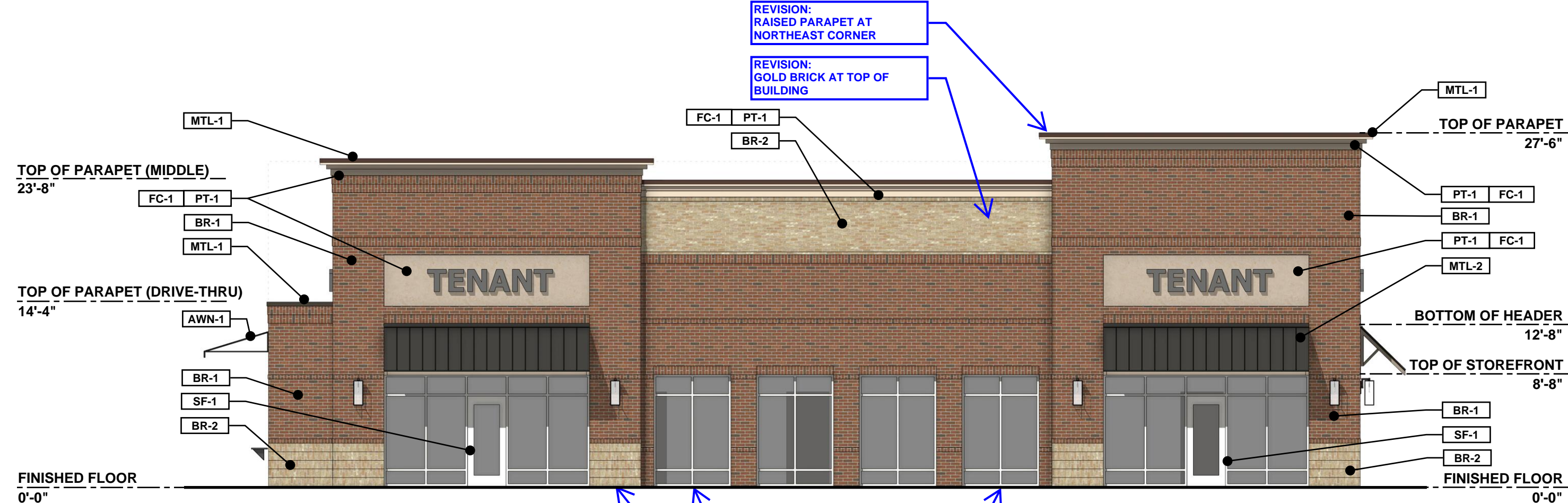
KYBER RUN PLAZA
800 - 856 COSHOCTON STREET
JOHNSTOWN, OHIO 43031

FOR
FILLMORE PROPERTY GROUP
4145 POWELL ROAD, POWELL, OHIO 43065

DRAWING STATUS	
STATUS	DATE
ZONING	MARCH 17, 2025

DRAWING TITLE
**RETAIL 'C'
FLOOR PLAN
(JUNIOR ANCHOR
ALTERNATE)**

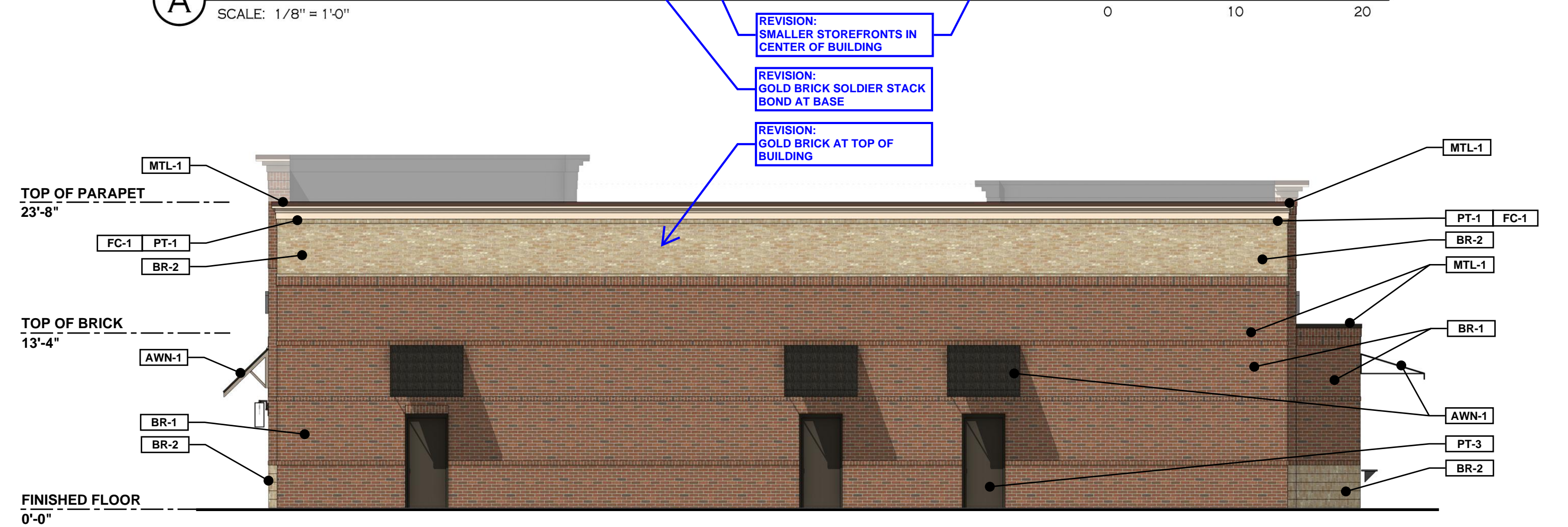
DRAWING NUMBER
A1.2-C



(A) EAST ELEVATION
 SCALE: 1/8" = 1'-0"



(B) NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



(C) WEST ELEVATION
 SCALE: 1/8" = 1'-0"



(D) SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

MATERIAL FINISH KEY



BR-1
 BRICK VENEER - STANDARD MODULAR
 GLEN GERY 'ALBANY'



BR-2
 BRICK VENEER - STANDARD MODULAR
 BELDEN BRICK 'BEECHWOOD BLEND'



CMU-1
 CONCRETE MODULAR BLOCK
 READING ROCK 'AMERICAN HARVEST'

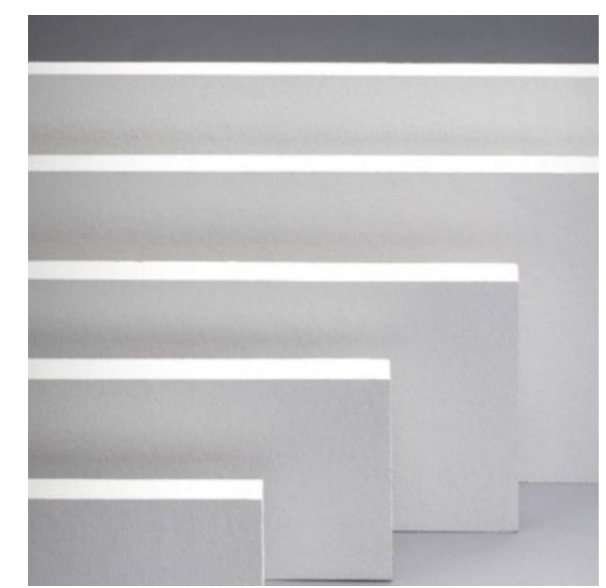
ARGOS MORTAR
'MAGNOLIA BUFF'

ARGOS MORTAR
'MAGNOLIA BUFF'

ARGOS MORTAR
'GEORGIAN RED'



AS-1
 DIMENSIONAL ASPHALT SHINGLES
 CERTAINTED - LANDMARK SERIES
 'HEATHER BLEND'



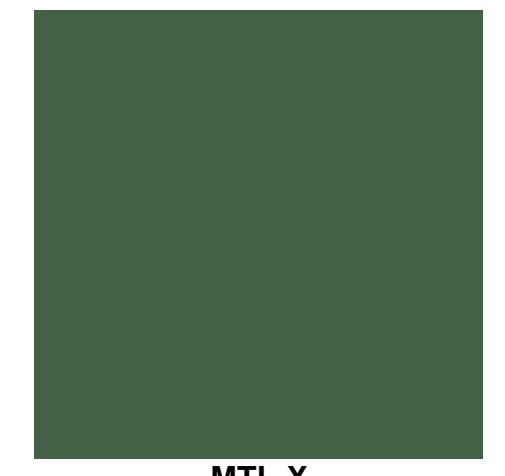
FC-1
 FIBER CEMENT PANEL / TRIM
 JAMES HARDIE
 SMOOTH FINISH



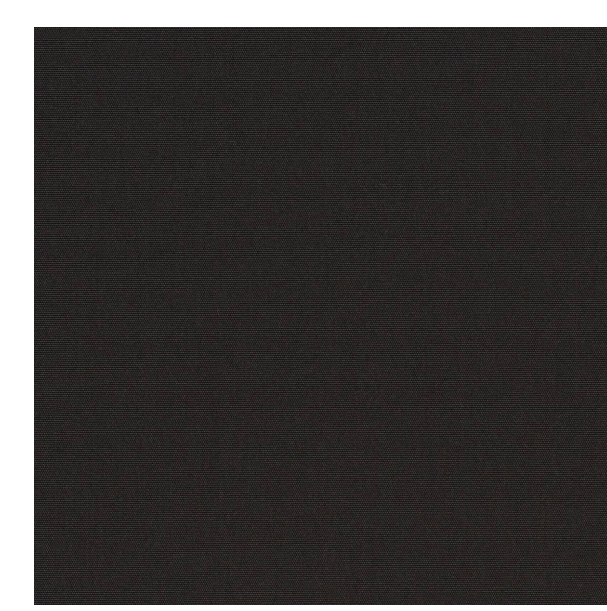
MTL-1
 PREFINISHED METAL
 DIMENSIONAL METALS INC.
 'BROWN'



MTL-2
 PREFINISHED METAL
 DIMENSIONAL METALS INC.
 'MATTE BLACK'



MTL-X
 PREFINISHED METAL
 DIMENSIONAL METALS INC.
 'EVERGREEN'



AWN-1
 CANVAS AWNING
 SUNBRELLA
 'BLACK' #4806



SF-1
 ALUMINUM STOREFRONT
 LINETEC
 'BONE WHITE' #LT609



PT-1
 PAINT
 SHERWIN WILLIAMS
 'GRECIAN IVORY' SW7541



PT-2
 PAINT
 SHERWIN WILLIAMS
 'STUDIO CLAY' SW9172



PT-3
 PAINT
 SHERWIN WILLIAMS
 'TRICORN BLACK' SW6258

DECORATIVE LIGHT FIXTURES



LSI 'LIFESTYLE MEDIUM'
 SIDE ARM MOUNT
 DECORATIVE FIXTURE
 (BRONZE TO MATCH EXISTING)



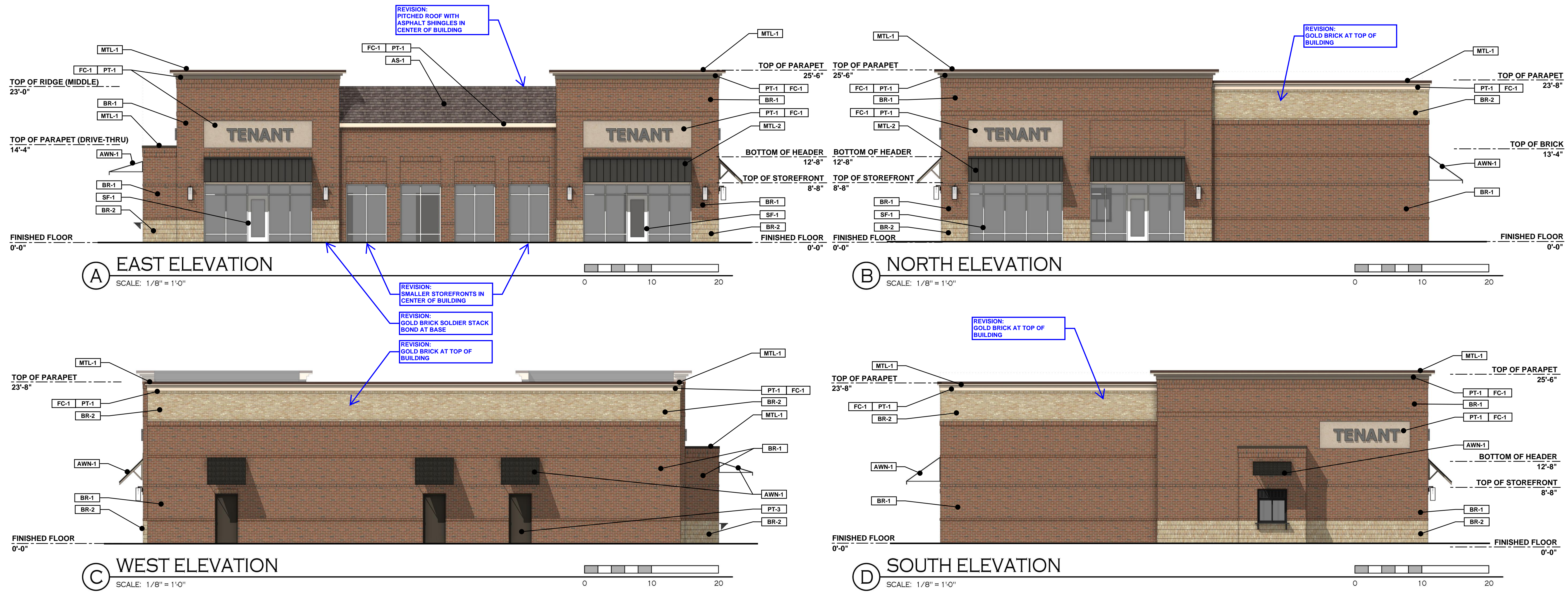
DECORATIVE SCENCE
 PROGRESS LIGHTING
 'STATURE 2 LIGHT'
 BLACK

GENERAL ELEVATION NOTES

1. THE FIXTURES, MATERIALS AND COLORS SHOWN HEREIN ARE INTENDED TO MATCH THOSE USED ON EXISTING 'RETAIL B'. IF THE ORIGINAL MATERIAL SELECTIONS ARE NO LONGER AVAILABLE, OR SUPPLY SHORTAGES ARE PROBLEMATIC, FINAL SELECTIONS SHALL BE SUBSTANTIALLY SIMILAR TO THOSE EXISTING FOR AESTHETIC CONTINUITY.
2. EXTERIOR DOOR LOCATIONS ARE SUBJECT TO ADDITION, DELETION, OR RELOCATION BASED ON FINAL LAYOUT OF FUTURE, INTERIOR TENANT PLANS. ALL DOORS SHALL BE PLACED WITHIN THE DEFINED 'STOREFRONT' AREAS SHOWN HEREIN. DEVELOPMENT TEAM WILL WORK WITH CITY STAFF TO GAIN ADMINISTRATIVE APPROVAL FOR ANY SUCH MODIFICATIONS, IF NECESSARY.
3. ALL ROOF-MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW AS REQUIRED BY CURRENT ZONING ORDINANCE.
4. ALL FUTURE SIGNAGE SHALL CONFORM TO CURRENT ZONING ORDINANCES AT THE TIME OF SUBMISSION. SIGNAGE DESIGN & PERMITTING SHALL BE SOUGHT ON A TENANT-BY-TENANT BASIS. THESE ELEVATIONS SHOW THE GENERALLY INTENDED LOCATIONS FOR WALL-MOUNTED SIGNAGE TO COMPLEMENT THE BUILDING ARCHITECTURE. HOWEVER, THE LOCATIONS DEPICTED HEREIN SHALL NOT LIMIT THE ABILITY OF LANDLORD OR TENANTS TO INSTALL SIGNAGE TO THE EXTENT ALLOWED BY CITY CODE.

DRAWING STATUS	
STATUS	DATE
ZONING	MARCH 17, 2025
REVISIONS	MAY 1, 2026

DRAWING TITLE
RETAIL 'A'
BUILDING
ELEVATIONS
(A - ALTERNATE 01)
 DRAWING NUMBER
A2.1-A
 BEAN #000001.00



MATERIAL FINISH KEY



BR-1
 BRICK VENEER - STANDARD MODULAR
 GLEN GERY 'ALBANY'



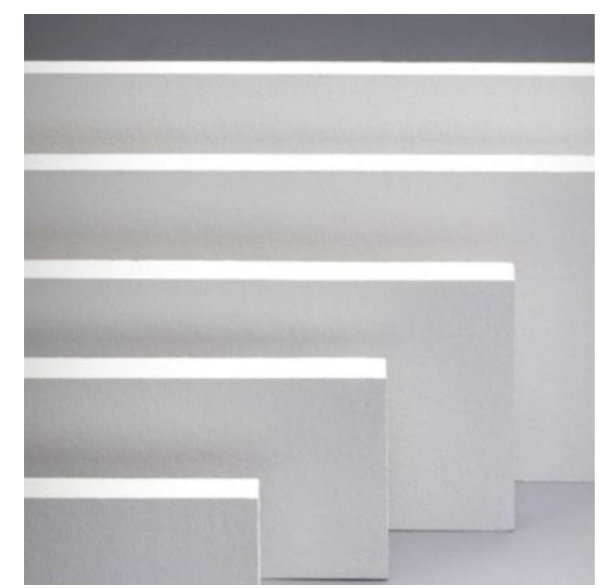
BR-2
 BRICK VENEER - STANDARD MODULAR
 BELDEN BRICK 'BEECHWOOD BLEND'



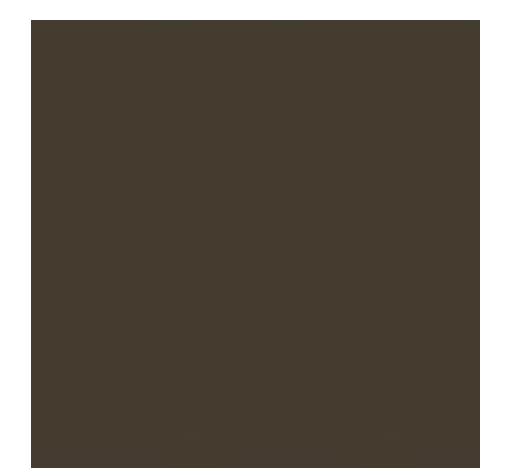
CMU-1
 CONCRETE MODULAR BLOCK
 READING ROCK 'AMERICAN HARVEST'



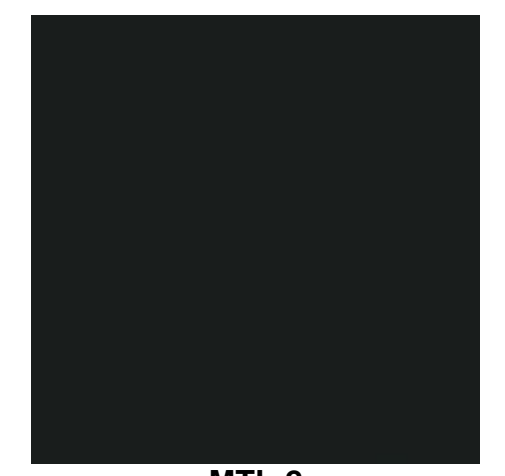
AS-1
 DIMENSIONAL ASPHALT SHINGLES
 CERTAINTEED - LANDMARK SERIES
 'HEATHER BLEND'



FC-1
 FIBER CEMENT PANEL / TRIM
 JAMES HARDIE
 SMOOTH FINISH



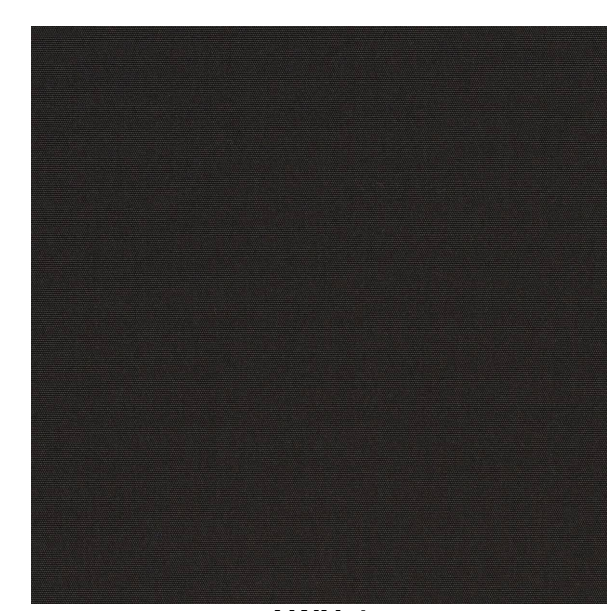
MTL-1
 PREFINISHED METAL
 DIMENSIONAL METALS INC.
 'BROWN'



MTL-2
 PREFINISHED METAL
 DIMENSIONAL METALS INC.
 'MATTE BLACK'



MTL-X
 PREFINISHED METAL
 DIMENSIONAL METALS INC.
 'EVERGREEN'



AWN-1
 CANVAS AWNING
 SUNBRELLA
 'BLACK' #4806



SF-1
 ALUMINUM STOREFRONT
 LINETEC
 'BONE WHITE' #LT609



PT-1
 PAINT
 SHERWIN WILLIAMS
 'GRECIAN IVORY' SW7541



PT-2
 PAINT
 SHERWIN WILLIAMS
 'STUDIO CLAY' SW9172



PT-3
 PAINT
 SHERWIN WILLIAMS
 'TRICORN BLACK' SW6258

DECORATIVE LIGHT FIXTURES



LSI 'LIFESTYLE MEDIUM'
 SIDE ARM MOUNT
 DECORATIVE FIXTURE
 (BRONZE TO MATCH EXISTING)



DECORATIVE SCONCE
 PROGRESS LIGHTING
 'STATURE 2 LIGHT'
 BLACK

GENERAL ELEVATION NOTES

1. THE FIXTURES, MATERIALS AND COLORS SHOWN HEREIN ARE INTENDED TO MATCH THOSE USED ON EXISTING 'RETAIL B'. IF THE ORIGINAL MATERIAL SELECTIONS ARE NO LONGER AVAILABLE, OR SUPPLY SHORTAGES ARE PROBLEMATIC, FINAL SELECTIONS SHALL BE SUBSTANTIALLY SIMILAR TO THOSE EXISTING FOR AESTHETIC CONTINUITY.
2. EXTERIOR DOOR LOCATIONS ARE SUBJECT TO ADDITION, DELETION, OR RELOCATION BASED ON FINAL LAYOUT OF FUTURE, INTERIOR TENANT PLANS. ALL DOORS SHALL BE PLACED WITHIN THE DEFINED 'STOREFRONT' AREAS SHOWN HEREIN. DEVELOPMENT TEAM WILL WORK WITH CITY STAFF TO GAIN ADMINISTRATIVE APPROVAL FOR ANY SUCH MODIFICATIONS, IF NECESSARY.
3. ALL ROOF-MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW AS REQUIRED BY CURRENT ZONING ORDINANCE.
4. ALL FUTURE SIGNAGE SHALL CONFORM TO CURRENT ZONING ORDINANCES AT THE TIME OF SUBMISSION. SIGNAGE DESIGN & PERMITTING SHALL BE SOUGHT ON A TENANT-BY-TENANT BASIS. THESE ELEVATIONS SHOW THE GENERALLY INTENDED LOCATIONS FOR WALL-MOUNTED SIGNAGE TO COMPLEMENT THE BUILDING ARCHITECTURE. HOWEVER, THE LOCATIONS DEPICTED HEREIN SHALL NOT LIMIT THE ABILITY OF LANDLORD OR TENANTS TO INSTALL SIGNAGE TO THE EXTENT ALLOWED BY CITY CODE.

DRAWING STATUS	
STATUS	DATE
ZONING	MARCH 17, 2025
REVISIONS	MAY 1, 2025

DRAWING TITLE
RETAIL 'A'
BUILDING
ELEVATIONS
(A - ALTERNATE 02)

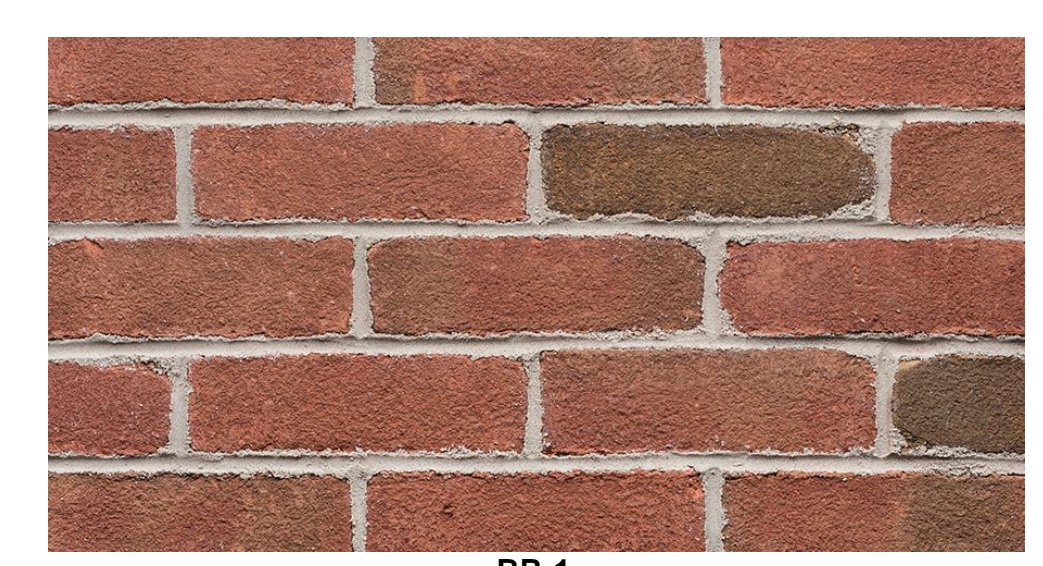
DRAWING NUMBER
A2.1-A

BEAN #000000.00
 Page 16 of 31



A NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

MATERIAL FINISH KEY



BR-1
 BRICK VENEER - STANDARD MODULAR
 GLEN GERY 'ALBANY'

ARGOS MORTAR
 'MAGNOLIA BUFF'



BR-2
 BRICK VENEER - STANDARD MODULAR
 BELDEN BRICK 'BEECHWOOD BLEND'

ARGOS MORTAR
 'MAGNOLIA BUFF'

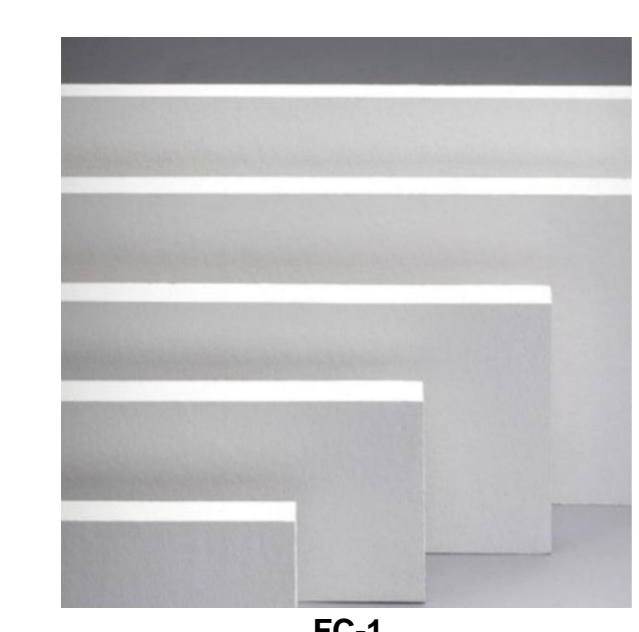


CMU-1
 CONCRETE MODULAR BLOCK
 READING ROCK 'AMERICAN HARVEST'

ARGOS MORTAR
 'GEORGIAN RED'



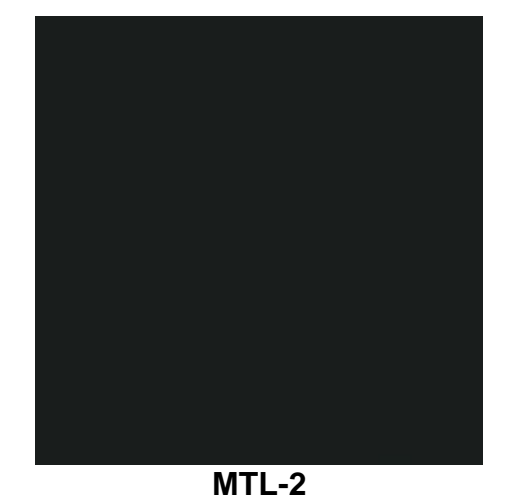
AS-1
 DIMENSIONAL ASPHALT SHINGLES
 CERTAINTEED - LANDMARK SERIES
 'HEATHER BLEND'



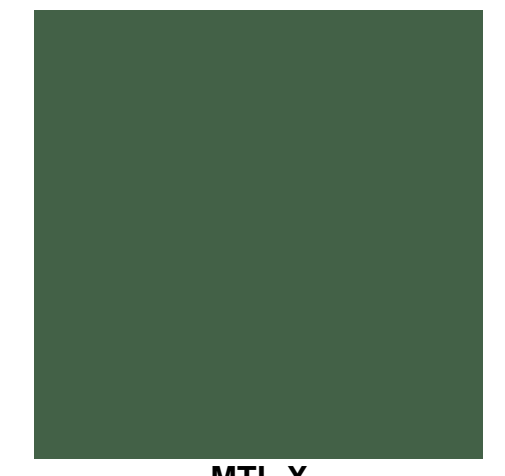
FC-1
 FIBER CEMENT PANEL / TRIM
 JAMES HARDIE
 SMOOTH FINISH



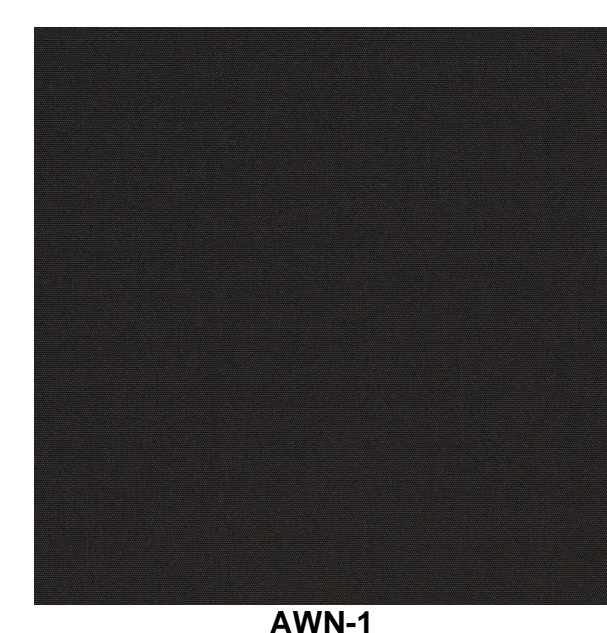
MTL-1
 PREFINISHED METAL
 DIMENSIONAL METALS INC.
 'BROWN'



MTL-2
 PREFINISHED METAL
 DIMENSIONAL METALS INC.
 'MATTE BLACK'



MTL-X
 PREFINISHED METAL
 DIMENSIONAL METALS INC.
 'EVERGREEN'



AWN-1
 CANVAS AWNING
 SUNBRELLA
 'BLACK' #4806



SF-1
 ALUMINUM STOREFRONT
 LINETEC
 'BONE WHITE' #LT609



PT-1
 PAINT
 SHERWIN WILLIAMS
 'GRECIAN IVORY' SW7541



PT-2
 PAINT
 SHERWIN WILLIAMS
 'STUDIO CLAY' SW9172



PT-3
 PAINT
 SHERWIN WILLIAMS
 'TRICORN BLACK' SW6258

DECORATIVE LIGHT FIXTURES



LSI 'LIFESTYLE MEDIUM'
 SIDE ARM MOUNT
 DECORATIVE FIXTURE
 (BRONZE TO MATCH EXISTING)



DECORATIVE SCONCE
 PROGRESS LIGHTING
 'STATURE 2 LIGHT'
 BLACK

GENERAL ELEVATION NOTES

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DRAWING STATUS	
STATUS	DATE
ZONING	MARCH 17, 2025
REVISIONS	MAY 1, 2026

DRAWING TITLE
**EXISTING
 RETAIL 'B'
 BUILDING
 ELEVATION**

DRAWING NUMBER
A2.1-B

BEAN #000000.00
 Page 17 of 34

DRAWING STATUS	
STATUS	DATE
ZONING	MARCH 17, 2025
REVISIONS	MAY 1, 2025

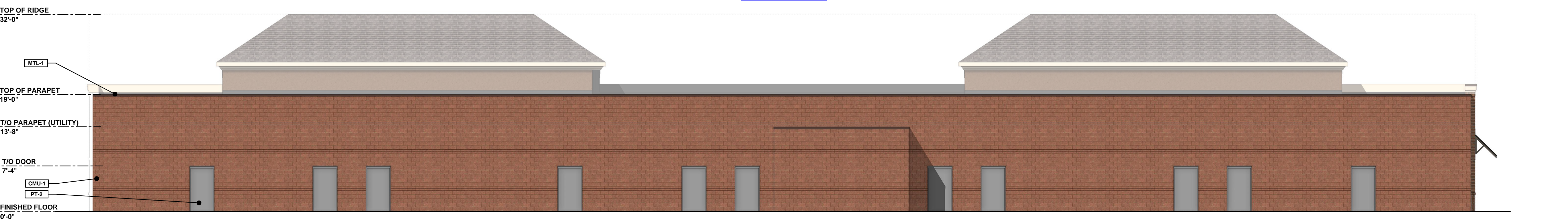
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 BUILDING
 ELEVATIONS
 (C - ALTERNATE 01)**
 DRAWING NUMBER

A2.1-C
 BEAN #00000.00

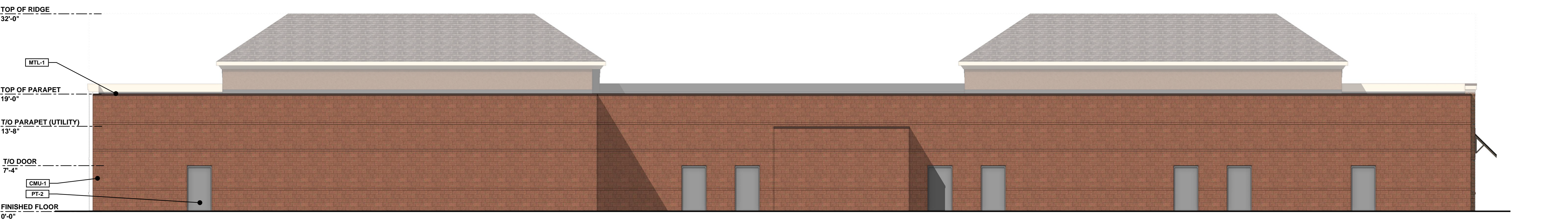


(A) EAST ELEVATION
 SCALE: 1/8" = 1'-0"

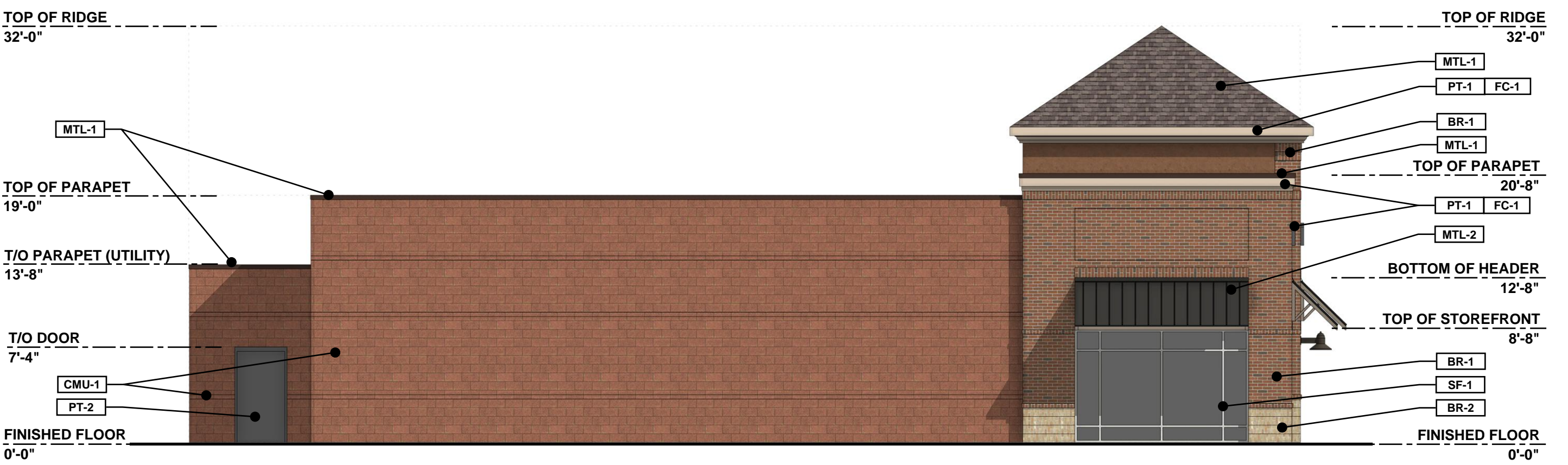
REVISION:
 GOLD BRICK SOLDIER STACK
 BOND AT BASE



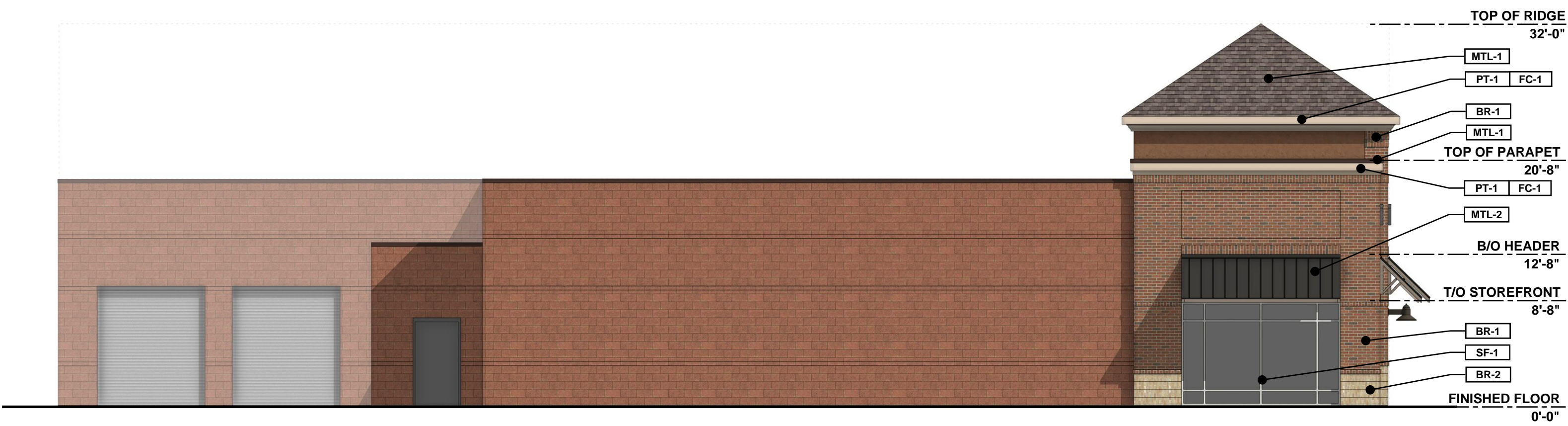
(B) WEST ELEVATION
 SCALE: 1/8" = 1'-0"



(C) WEST ELEVATION - JUNIOR ANCHOR ALTERNATE
 SCALE: 1/8" = 1'-0"



(D) SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



(E) SOUTH ELEVATION - JUNIOR ANCHOR ALTERNATE
 SCALE: 1/8" = 1'-0"



AERIAL VIEW LOOKING SOUTHWEST



AERIAL VIEW LOOKING WEST

BEAN
 J. CARTER BEAN ARCHITECT
 2251 ACCOY ROAD
 COLUMBUS, OH 43220

fillmore
GALLAS
NADEH
DEVELOPMENT

PASSOV GROUP
 COMMERCIAL BROKERAGE

KYBER RUN PLAZA
 800 - 856 COSHOCTON STREET
 JOHNSTOWN, OHIO 43031
 FOR
FILLMORE PROPERTY GROUP
 4145 POWELL ROAD, POWELL, OHIO 43065

DRAWING STATUS	
STATUS	DATE
PRELIMINARY	FEBRUARY 6, 2026
	FEBRUARY 20, 2026
	FEBRUARY 22, 2026
	MARCH 2, 2026
REVISIONS	MAY 1, 2026

DRAWING TITLE
RENDERINGS

DRAWING NUMBER
R-1



VIEW LOOKING SOUTHWEST



AERIAL VIEW LOOKING SOUTHWEST

BEAN
 J. CARTER BEAN ARCHITECT
 2251 ACCOY ROAD
 COLUMBUS, OH 43220

fillmore
GALLAS
NADEH
DEVELOPMENT

PASSOV GROUP
 COMMERCIAL BROKERAGE

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REVISIONS	MAY 1, 2026

DRAWING TITLE
RENDERINGS

DRAWING NUMBER
R-2



AERIAL VIEW LOOKING NORTHWEST



VIEW LOOKING SOUTHWEST

BEAN

J. CARTER BEAN ARCHITECT
2251 ACCOY ROAD
COLUMBUS, OH 43220

fillmore

**GALLAS
ZADEH
DEVELOPMENT**

PASSOV GROUP
COMMERCIAL BROKERAGE

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800 - 856 COSHOCTON STREET
JOHNSTOWN, OHIO 43031

FOR
FILLMORE PROPERTY GROUP
4145 POWELL ROAD, POWELL, OHIO 43065

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	MARCH 2, 2026
REVISIONS	MAY 1, 2026

DRAWING TITLE

RENDERINGS

DRAWING NUMBER

R-3

BEAN #00000.00



VIEW LOOKING NORTHWEST



VIEW LOOKING NORTHWEST

BEAN

J. CARTER BEAN ARCHITECT
2251 ACCOY ROAD
COLUMBUS, OH 43220

fillmore

**GALLAS
ZADEH
DEVELOPMENT**

PASSOV GROUP
COMMERCIAL BROKERAGE

KYBER RUN PLAZA
800 - 856 COSHOCTON STREET
JOHNSTOWN, OHIO 43031
FOR
FILLMORE PROPERTY GROUP
4145 POWELL ROAD, POWELL, OHIO 43065

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	MARCH 2, 2026
REVISIONS	MAY 1, 2026

DRAWING TITLE

RENDERINGS

DRAWING NUMBER

R-4

BEAN #00000.00



VIEW LOOKING NORTHWEST



VIEW LOOKING WEST

BEAN
 J. CARTER BEAN ARCHITECT
 2251 ACCOY ROAD
 COLUMBUS, OH 43220

fillmore
GALLAS
NADEH
DEVELOPMENT

PASSOV GROUP
 COMMERCIAL BROKERAGE

KYBER RUN PLAZA
 800 - 856 COSHOCTON STREET
 JOHNSTOWN, OHIO 43031
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 4145 POWELL ROAD, POWELL, OHIO 43065

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REVISIONS	MAY 1, 2026

DRAWING TITLE
RENDERINGS

DRAWING NUMBER
R-5



AERIAL VIEW LOOKING WEST



AERIAL VIEW LOOKING NORTHWEST

BEAN

J. CARTER BEAN ARCHITECT
2251 ACCOY ROAD
COLUMBUS, OH 43220



fillmore

GALLAS
ZADEH
DEVELOPMENT



PASSOV GROUP
COMMERCIAL BROKERAGE

KYBER RUN PLAZA

800 - 856 COSHOCTON STREET
JOHNSTOWN, OHIO 43031

FOR
FILLMORE PROPERTY GROUP
4145 POWELL ROAD, POWELL, OHIO 43065

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	MARCH 2, 2026
REVISIONS	MAY 1, 2026

DRAWING TITLE
RENDERINGS

DRAWING NUMBER
R-6



AERIAL VIEW LOOKING NORTHEAST



AERIAL VIEW LOOKING NORTHEAST - JUNIOR ANCHOR REAR EXPANSION

BEAN

J. CARTER BEAN ARCHITECT
2251 ACCOY ROAD
COLUMBUS, OH 43220

fillmore

**GALLAS
NADEH
DEVELOPMENT**

PASSOV GROUP
COMMERCIAL BROKERAGE

KYBER RUN PLAZA
800 - 856 COSHOCTON STREET
JOHNSTOWN, OHIO 43031

FOR
FILLMORE PROPERTY GROUP
4145 POWELL ROAD, POWELL, OHIO 43065

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REVISIONS	MAY 1, 2026

DRAWING TITLE

RENDERINGS

DRAWING NUMBER

R-7

BEAN #00000.00



VIEW LOOKING SOUTHEAST



VIEW LOOKING SOUTHEAST

BEAN

J. CARTER BEAN ARCHITECT
2251 ACCOY ROAD
COLUMBUS, OH 43220

fillmore

**GALLAS
ZADEH
DEVELOPMENT**

PASSOV GROUP
COMMERCIAL BROKERAGE

KYBER RUN PLAZA
800 - 856 COSHOCTON STREET
JOHNSTOWN, OHIO 43031

FOR
FILLMORE PROPERTY GROUP
4145 POWELL ROAD, POWELL, OHIO 43065

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REVISIONS	MAY 1, 2026

DRAWING TITLE

RENDERINGS

DRAWING NUMBER

R-8

BEAN #00000.00



VIEW LOOKING SOUTHWEST (A - ALTERNATE 02)



AERIAL VIEW LOOKING SOUTHWEST (A - ALTERNATE 02)

BEAN

J. CARTER BEAN ARCHITECT
2251 ACCOY ROAD
COLUMBUS, OH 43220

fillmore

**GALLAS
ZADEH
DEVELOPMENT**

PASSOV GROUP
COMMERCIAL BROKERAGE

KYBER RUN PLAZA
800 - 856 COSHOCTON STREET
JOHNSTOWN, OHIO 43031

FOR
FILLMORE PROPERTY GROUP
4145 POWELL ROAD, POWELL, OHIO 43065

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REVISIONS	MAY 1, 2026

DRAWING TITLE

RENDERINGS

DRAWING NUMBER

R-9

BEAN #00000.00



VIEW LOOKING WEST (A - ALTERNATE 02)



VIEW LOOKING NORTHWEST (A - ALTERNATE 02)

BEAN
 J. CARTER BEAN ARCHITECT
 2251 ACCOY ROAD
 COLUMBUS, OH 43220

fillmore
GALLAS
ZADEH
DEVELOPMENT

PASSOV GROUP
 COMMERCIAL BROKERAGE

KYBER RUN PLAZA
 800 - 856 COSHOCTON STREET
 JOHNSTOWN, OHIO 43031
 FOR
FILLMORE PROPERTY GROUP
 4145 POWELL ROAD, POWELL, OHIO 43065

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REVISIONS	MAY 1, 2026

DRAWING TITLE
RENDERINGS

DRAWING NUMBER
R-10
 BEAN #00000.00



VIEW LOOKING NORTHWEST (A - ALTERNATE 02)



VIEW LOOKING NORTHEAST

BEAN

J. CARTER BEAN ARCHITECT
2251 ACCOY ROAD
COLUMBUS, OH 43220

fillmore

**GALLAS
NADEH
DEVELOPMENT**

PASSOV GROUP
COMMERCIAL BROKERAGE

KYBER RUN PLAZA
800 - 856 COSHOCTON STREET
JOHNSTOWN, OHIO 43031

FOR
FILLMORE PROPERTY GROUP
4145 POWELL ROAD, POWELL, OHIO 43065

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DRAWING TITLE

RENDERINGS

DRAWING NUMBER

R-11

BEAN #00000.00

PLANNING STAFF REPORT

KYBER RUN SHOPPING CENTER | CERTIFICATE OF APPROPRIATENESS

INTRODUCTION

- To: Design Review Board
- Reviewer: Johnstown Planning
- Applicant: Bean Architects
- Request: Construct two new commercial retail buildings within the existing Kyber Run Shopping Center identified as Retail A and Retail C on the provided site plans.
- Recommendation: Consider the proposal and determine compliance with applicable guidelines and regulations. See page 5 for detailed recommendations.

PROPERTY LOCATION MAP

Figure 1 | Property Location Map



PROPERTY INFORMATION

Property Location:	11546 Johnstown Utica Road (Coshocton Street)	Property Owner:	FB Kyber Run LLC
Comp Plan Land Use Designation:	Commerce Corridor	Overlay District:	Yes – Corridor District
Existing Zoning Designation:	General Community Commercial (GCC-2)	Design Review District:	Yes – GCC-2

BACKGROUND INFORMATION

The applicant is requesting a Certificate of Appropriateness for construction of two new retail buildings within the Kyber Run Shopping Center. The parcel is 10.7 acres in size. The governing site plan, adopted in 2008, illustrates buildings where the proposed buildings are located. The applicant has submitted building elevations and site plans that illustrate the proposed building locations within the existing site. The proposed Retail A includes a drive-thru, which requires a Conditional Use Permit. The Planning and Zoning Commission approved this use at their April 13, 2026 meeting. The COA is the next step in the approval process. If this COA is approved, the site plan will be reviewed for compliance with the remainder of the Codified Ordinances.

Sheet A2.1-B notes that minor changes are proposed to the existing standalone retail building noted as Retail B on the site plan. The note states that the EFIS and trim will be painted PT-1 (Grecian Ivory, Sherwin Williams) and the existing metal canopies will be painted PT-3 (Tricorn Black, Sherwin Williams) from the existing Evergreen color.

COMPREHENSIVE PLAN REVIEW

The 2024 comprehensive plan designates the subject property as “Commerce Corridor”. The description of the Downtown land use included in the comprehensive plan states:

The Commerce Corridor describes the city’s commercial center that includes a mix of medium to large-scale retail, restaurant, and commercial buildings. The corridor’s proximity to future employment centers and planned neighborhoods presents opportunities to facilitate mixed-use redevelopment that encourages new internal street networks and a refined focus on pedestrian connectivity. This translates into retail buildings with interactive storefronts that directly front internal streets and provide frequent pedestrian interactions.

Reviewer Comment: The proposed buildings are an expansion of the larger retail complex anchored by a supermarket (Kroger). The proposed expansion will further utilize an already developed site and will put more retail and service uses within a consolidated location. The proposed expansion is consistent with the Commerce Corridor land use as described in the City’s Comprehensive Plan.

EXISTING ZONING SUMMARY

Chapter 1155.01 establishes the purpose of the General Community Commercial (GCC-2) zoning district which states: "The purpose of the GCC-2 District is to designate appropriate areas for the establishment and development of commercial activities to service regional needs."

Reviewer Comment: The proposed building is part of the larger Kyber Run Shopping Center. The continued use of the site for a variety of commercial activities is consistent with the purpose of the GCC-2 zoning code.

CRITERIA FOR EVALUATION OF APPLICATION FOR CERTIFICATION OF DESIGN APPROPRIATENESS (CHAPTER 1187.08)

The City's Codified Ordinances establish multiple criteria that must be evaluated when considering a Certificate of Appropriateness. Specifically, Chapter 1187.08 of the Codified Ordinances states: "In considering the appropriateness of any proposed environmental change, including landscaping or exterior signage, the Board or Village staff member shall consider the following, as a part of its review" The specific conditions are noted below with the reviewer's comments following in *italicized* text.

- (a) The compliance of the application with the Design Guidelines and Requirements. The proposed environmental change is to comply with the Design Guidelines and Requirements of the Village, incorporated by reference.

Reviewer Comment: The proposed building facade appears to utilize a mix of brick, storefront glass systems, and EFIS or similar exterior cladding system. Proposed roofs include flat and pitched roofs. Based on the renderings provided, the proposed structure appears similar in appearance to the existing multi-tenant commercial building that currently houses Elements Dental, Fiesta Del Rio, Great Clips, and similar uses just to the southwest of the proposed building. A materials list was included as part of the application and are located on sheets A2.1-A and A2.1-B.

- (b) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

Reviewer comment: The request is for new construction within a retail complex that was originally planned to include this building. The site has historically been used for retail and service uses.

- (c) The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.

Reviewer Comment: Only minor changes to the site layout are proposed, primarily around Retail A to accommodate the revised drive-thru. The proposed buildings are located in the flat grass lawn to the southwest of the existing Kroger building and the vacant building pad (covered in grass currently) behind the Chase Bank that fronts Coshocton Street.

- (d) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

Reviewer Comment: As noted above, this site has historically been used for retail uses and this proposal is for the construction of two new multi-tenant retail buildings.

- (e) Each property shall be recognized as a physical record of its historic time, place and use. Alterations that have no historical basis and which seek to create an appearance inconsistent or inappropriate to the original integrity of the property shall be discouraged.

Reviewer Comment: The proposed building is similar in appearance to the other commercial retail structures on the site. This site has been utilized for a commercial shopping center.

- (f) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

Reviewer Comment: This is not applicable to this request. There are no recognized historic features present on this site.

- (g) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.

Reviewer Comment: This is not applicable to this request. There are no recognized historic features present on this site.

- (h) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures if appropriate shall be undertaken using the gentlest means possible.

Reviewer Comment: This is not applicable to this request. This request is for new construction, not rehabilitation of existing materials.

- (i) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

Reviewer Comment: This is not applicable to this request.

- (j) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Reviewer Comment: The proposed buildings are standalone structures. The proposed style and finishes are similar to those of the buildings that already exist on the site. There are no recognized historic features on this site.

- (k) Significant archeological resources affected by a project shall be protected and preserved, if such resources must be disturbed, mitigation measures shall be undertaken.

Reviewer Comment: The reviewer was not provided with any information that points to the presence of any archeological resources on the site.

- (l) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.

Reviewer Comment: The proposed building is similar in appearance and materials of surrounding buildings on the site.

- (m) Demolition of a structure shall follow the criteria for evaluation and submittal requirements outlined in Section 1187.09 as well as all items in Section 1187.08 as it relates to consideration of the demolition of a structure.

Reviewer Comment: No demolition is proposed.

CONCLUSION

No inconsistencies between the proposed structure and the City's adopted design guidelines were identified as part of this review.

Based on past input of the Design Review Board, the EFIS (or similar) that is proposed should be discussed with the applicant. The Board has previously established that these systems are problematic over time and complicate future repair efforts. The board should also provide comment as to the proposed color changes on the existing Retail B building as noted in the "Background Information" section of this report on page 2.