



Planning & Zoning Commission Meeting  
Tuesday, March 10, 2026 - 6:30 PM  
AGENDA

1. Call to Order/Roll Call
2. Public Comment on items not on the agenda
3. Approval of Minutes
  - a. February 10, 2026
  - b. February 24, 2026
4. TABLED - Application # 9-22-25 Conditional Use; 65 S. Main Street - Wall mural
  - a. Application; tabled pending building owner approval of exterior changes to brick and a proposed sign/size and location
5. Section 1159 Light Manufacturing amendments - Tabled
6. Chapter 1187, Text of the Design Review Administration & Regulations
  - a. Text amendment
7. Application # 2-9-26 Conditional Use; 11891 Johnstown Utica Rd. - Granville Milling
  - a. Application
8. Other Business
9. Adjourn



Planning & Zoning Commission  
Tuesday, February 10, 2026 - 6:30 PM  
MINUTES

1. Call to Order

Chairman Steve Dyer called to order the Planning and Zoning Commission meeting for Tuesday, February 10, 2026 at 6:39 p.m.

2. Roll Call

Present - Steve Dyer, Kyle Cook, Mark Zolendziewski, Brian Hiebel, Todd McConnell  
Absent - None

Staff present - Sean Staneart - City Manager, Ryan Green - City Council, Chris Hermann - City Planner/MKSK, Teresa Monroe - Clerk of Council

Public present - Justin Fox, Rodney Johnson, Alan Benton

3. Public Comment on items not on the agenda

No comments

4. TABLED - Application # 9-22-25 Conditional Use; 65 S. Main Street - Wall mural

Applicant has not provided the requested information, application remains tabled.

5. Section 1159 Light Manufacturing

a. Memo/Ordinance draft withdrawn by council - Sent back to P&Z for further consideration

Sean Staneart provided background; the application for the text amendment went to council, they had a couple of readings and had some public participation from the property owners, who are also here tonight. They conveyed some concerns to council, and council at that time said they would have the Planning and Zoning Commission reevaluate. Mr. Staneart said the concerns of the property owners are related to the areas that are not being opened up for the increased permitted uses within the Commerce Blvd. area. Sean Staneart said that City Council did not articulate any desired changes, but wanted to allow the property owners an opportunity to share their concerns in a more appropriate realm to see if there is a way forward to modify it, or keep it the same, and to see if it were possible to alleviate all the concerns associated.

Planner Trevor Traphagen provided a memo which has been provided to the Commission.

Tonight, Chris Hermann, with MKSK was in attendance. Kyle Cook said the current code has a lot of outdated purposes and doesn't have a lot of offerings to people who want to do business here. He said they missed opening it up for Endeavor Court to be included, right now the way it is worded, it restricts the current businesses from growing in that area if they would like to expand. He said also Sportsmans Club Road should be added so that the whole Light Manufacturing district can be an opportunity for developers and manufacturing to come in. Kyle said that council sent this back to Planning and Zoning to discuss adding Endeavor Court and Sportsmans Club so that Light Manufacturing can be opened up to more possibilities. Sean Staneart said that is the request from the property owners on Sportsmans Club Road; the way the proposed amendment is written right now, the permitted uses only apply to properties on Commerce Blvd. and US62. The property owners would like to see the uses expanded to Sportsmans Club Road as well as Endeavor so their properties could have the allowed uses also. Sean Staneart said that originally they (council) wanted to restrict the increased use along Track and Ford Streets, the restriction on Commerce Blvd. and the US62 side and not bringing in Sportsmans Club as well as Endeavor Court really related around the potential for increased traffic as the SR37 and US62 intersection is

problematic as it is. There was a concern that increasing different types of employment and not knowing what type of employment could exist, could have unintended consequences and potentially create a larger problem at that particular intersection. He said this was meant to allow only the built-out areas to have some additional entitlements. Sportsmans Club and Endeavor Court would unlock a large amount of land with additional entitlements which could have different types of manufacturing or employment centers that would potentially produce either employment traffic or logistical traffic related to whatever industry they are a part of, truck traffic etc. Kyle Cook said Trevor also said so would residential. Kyle said he would add Endeavor and Sportsmans Club. Mark Zolendziewski said if they add Endeavor Court, there's one call out in there for paint and powder coating manufacturing, that it has to be no closer than 100 feet from any property line abutting an adjacent residential use. Just paint, so they could technically put something else on that property that's south of Endeavor Court that also has a lot of standing water on it, which will then impact all of Concord Crossing probably heavily because that plot goes all the way along the back side of Concord Crossing, whereas everything else currently has access there. Atrium owns all the way back there, they would be the only ones who would potentially be affected in the future for that, there's no frontage for Commerce Boulevard. He said their parking lot connects to it, so unless they expanded that particular building and consider it all one building all the way back. He said that's just his concern with Endeavor, if they include it, they could put a building right up against everybody's houses right there where both of those bodies of water on the map. So all of those people in Concord Crossing will have a building sitting in their backyard, if they don't limit everything to have 100 feet from an abutting residential property, if they only call it out in paint powder coating manufacturing. Some discussion on buffer and separation not being specifically called out, also questions on setbacks in subsection 4, that setback was not required. Todd McConnell called out aesthetic requirements that in the Light Manufacturing district, if abutting a non-light manufacturing property, it shall provide a minimum 25 ft landscape buffer that includes canopy trees and vegetation that will create a visual screen of a minimum of six feet.

Reference to the section on curb cuts and Sportsmans Club Road; Chris Hermann asked if the intent is to have drives to individual businesses happen on Sportsmans Club or is the intent to get a road off of Sportsmans Club that then has individual business uses off of it, he said he thinks that's an important distinction, if it was one big user with one drive, fine, if it's a number of smaller users, do they want a bunch of individual curb cuts on Sportsmans Club or do they want one access point? Chairman Dyer asked the property owners in the audience their thoughts. Justin Fox, representing Rodney Johnson, said they have been watching this process from afar now for several years. He said the commission has identified exactly what their concerns are, their hope is that this text as drafted is used to apply to Sportsmans Club Road properties.

Steve Dyer said if they expand that area, can the road handle it, what will happen with the Sportsmans Club intersection, the homes and people who live down there, does taking on that risk benefit our community. Brian Hiebel asked if the city would have to pay for future expansion of 37/62. Sean Stanearth said there was a presentation about a month ago on some improvements that will be made to the 37/62 intersection related to some radius and turn lanes, to increase the traffic flow in that area. But there will not be additional lanes added, right now there has been no outerbelt or bypass that has been identified that is part of the study and scope they are doing at a very high level, certainly something to consider. Brian Hiebel asked about traffic studies that the businesses going in would have to conduct. Chris Hermann said the key thing with traffic studies is, it is about the impact of the use, lots of times communities are like, conditions are bad there already and we need improvements, but the reality is that you cannot burden a proposal to fix the background stuff with what they are creating.

Steve Dyer said that he loves the idea of limiting curb cuts, for all the people who live on that road and down that road and who come to town. Kyle Cook asked what would be typical. Chris Hermann said just like Commerce Drive, the whole idea is you get one street with one access point and having the internal development go to that one street with one access point onto the

main network. Some discussion with the board and Mr. Benton on some history of the properties.

Kyle Cook said he would like to make a motion to approve this to council with the addition of Endeavor Court and Sportsmans Club Road. Some discussion for clarity on how best to amend the ordinance and edit 1159.02 (g) and to incorporate the Sportsmans Club Road curb cut discussion relative to 1159.04 C(2). It was noted that Tech already has two, maybe three curb cuts on Sportsmans Club Road, maybe they could limit the total number of curb cuts to four. Chris Hermann said it is within the commissions purview to restrict the number of curb cuts. Discussion on allowing two curb cuts per existing parcel. Chris said he would have to think about that, he will take their direction and try and write some language.

**ACTION:** Mark Zolendziewski moved to table discussion on section 1159 light manufacturing; Steve Dyer seconded and the vote was as follows:  
**AYES:** Mark Zolendziewski, Steve Dyer, Kyle Cook, Todd McConnell, Brian Hiebel  
**NOES:** None  
**ABSTAIN:** None

**Passed 5 - 0 TABLED**

6. Other Business  
No further business.

7. Adjourn

**ACTION:** Steve Dyer moved to adjourn; Kyle Cook seconded and all were in favor.  
**AYES:** Steve Dyer, Mark Zolendziewski, Kyle Cook, Todd McConnell, Brian Hiebel  
**NOES:** None  
**ABSTAIN:** None

**Passed 5 - 0**

The meeting adjourned at 7:40 pm.



Planning & Zoning Commission  
Tuesday, February 24, 2026 - 6:30 PM  
MINUTES

1. Call to Order

Vice Chair Mark Zolendziewski called to order the Planning and Zoning Commission meeting for Tuesday, February 24, 2026 at 6:33 p.m.

2. Roll Call

Present - Mark Zolendziewski, Kyle Cook, Todd McConnell, Brian Hiebel

Absent - Steve Dyer

Staff present - Teresa Monroe - Clerk of Council

Public present - Kaitlyn Ashbrook, Tony Ashbrook, Ashlee McFadden, Alan Benton, Rodney Johnson, Justin Fox

3. Public Comment on items not on the agenda

1. Kaitlyn Ashbrook

- Appreciates the time and attention they have paid to the new soccer field going in next to their home. She has talked to the school district, they are going to meet her on Friday and talk through some ideas. Her concern is not only the landscape barrier requirement they were not meeting, but the field is actually coming twenty-three feet the property line in one area but the landscape barrier is supposed to be twenty-five feet. She is concerned about that when it comes to the drainage, she mentioned that last time, it floods through there and that is why they lost their nice barrier of trees. She knows they are putting drainage in under the new field, but the elevation down to her yard is where they get significant flooding so she just wants that to be on the radar. She wants to make sure the school is held accountable.

Mark Zolendziewski said from what he read, it will be a permeable surface so rain will go straight down and through the drainage system which should help her yard. Kyle Cook said it was also a condition that the school work with the neighbors to ensure foliage is put back and screening is there.

4. Action on Minutes

a. January 13, 2026

**ACTION:** Kyle Cook moved to approve as written; Mark Zolendziewski seconded and the vote was as follows:

**AYES:** Kyle Cook, Brian Hiebel, Todd McConnell

**NOES:** None

**ABSTAIN:** Mark Zolendziewski, absent

**Passed 3 - 0**

5. Section 1159 Light Manufacturing - Tabled

Remains tabled. Ms. Monroe to touch base with the planner on being prepared to discuss at the next meeting.

6. Public Hearing for amendments to Chapter 1187, Text of the Design Review Administration & Regulations

Todd McConnell reviewed some language in the ordinance that he wanted to better understand; several sections say "City Manager (or designee)", he wants to understand what designee means, maybe it should be added under the definitions. He also asked about 1187.03 and the Design Review Districts, some discussion that the newer members have not seen the Design Guidelines draft and how all of this fits together. Direction for Ms. Monroe to send the draft out for them to review. Ms. Monroe said the commission has thirty days to make their recommendation to council so they have some time.

Mr. Zolendziewski opened the floor for the advertised public hearing.

**Public Hearing:** There were no comments

a. Council Resolution 2026-10

b. Chapter 1187 Draft Ordinance

7. Other Business

There was no further business.

8. Adjourn

**ACTION:** Mark Zolendziewski moved to adjourn; Kyle Cook seconded and all were in favor.

**AYES:** Kyle Cook, Mark Zolendziewski, Brian Hiebel, Todd McConnell

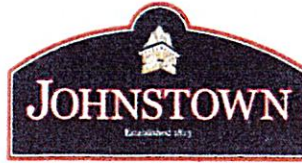
**NOES:** None

**ABSTAIN:** None

**Passed 4 - 0**

The meeting ended at 6:55 pm.

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# CONDITIONAL USE PERMIT APPLICATION: CHAPTER #1131.02

Application Number: 9-22-25 Date: 9, 22, 25

<b>FEES:</b>	
Number of Certified Letters to Contiguous Property Owners: _____ @ \$8.53 = \$_____	PAID
Newspaper Advertising Expense: \$_____	SEP 22 2025
Application Fee= <del>\$500</del>	CITY OF JOHNSTOWN
Total Fee Amount: \$ <u>200.00</u> Paid: Check # _____ / Cash: \$ <u>200.00</u>	

- Applicant's Name: San Gabriel LLC Phone: \_\_\_\_\_
- Mailing Address: 65 S main St City: Johnstown State: OH Zip: 43031
- E-mail Address: \_\_\_\_\_ Zoning District: GCC-1
- Property Address: 65 S main St City: Johnstown State: OH Zip: 43031
- Proposed Use of Property: Restaurant
- Number and dimensions of existing and proposed off-street parking or loading spaces, applicable.
- Number of Dwelling Units: N/A
- Square Feet of Living Area (Residential Use Only): N/A
- Yard Dimensions: Front: \_\_\_\_\_' Rear: \_\_\_\_\_' Left Side: \_\_\_\_\_' Right Side: \_\_\_\_\_'
- Percentage of Lot to be covered: \_\_\_\_\_% Area of Lot: \_\_\_\_\_ sq. ft.
- A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading area, traffic circulation, open spaces, landscaping, refuse, and service areas, utilities, signs, yards, and such other information as the Planning and Zoning Commission may require, to determine if the proposed conditional use meets the intent and requirements of this Ordinance #1131.01 to #1131.09.

12. A narrative statement evaluating the effects on adjoining property, and a discussion of the general compatibility with adjacent and other properties in the district.
13. The names and addresses of all property owners contiguous to, and directly across the street from the property, as appearing on the Licking County Auditor's current tax list.
14. Such other information regarding the property, proposed use, or surrounding area may be pertinent to the deliberations of the Planning and Zoning Commission as determined by the City Planner.

**IN ADDITION, THE FOLLOWING ITEMS MUST ACCOMPANY THIS APPLICATION:**

- A set of two (2) scale plans and dimensioned drawings showing the lot, with location of existing and proposed buildings their height and planned alterations are required.
- Attach any requested, supplemental, or necessary documentation such as: Number of dimensions of existing and proposed off-street parking or loading spaces, applicable. Other material may be requested by the Zoning Inspector to determine conformance with and provide for the enforcement of this ordinance.
- For all new businesses or changes of business use, for all commercial buildings with interior remodeling projects you are required to notify the Johnstown Monroe Fire Inspector at (740) 967-2976 of business and interior structure changes. A Licking County Building Department Permit is required for all structural changes, electrical, HVAC and plumbing. Their contact number is (740) 349-6671. (Ask for Heidi or Erin)

*The undersigned is applying for a Conditional Use Permit for the following use to be issued based on the information contained within this application. The applicant hereby certifies that all information and attachments to this application are true & correct and agrees to follow all applicable regulations.*

Applicant's Signature: *Randy Lopez* Date: 9, 22, 25

<b><u>OFFICE USE ONLY:</u></b>	
Date Received in Office: <u>9, 22, 25</u>	By: <u><i>[Signature]</i></u>
Permit was Approved Issued on Date: _____/_____/_____	
Permit was Denied on Date: _____/_____/_____	
Commission Chairperson Signature: <u>  x  </u>	
Additional Comments or Requirements:	

On behalf of El Rey Mexican Restaurant, located at 65 S Main Street, Johnstown, Ohio, we are writing to respectfully request approval to install two exterior murals on our building.

As proud new members of the Johnstown community, we are eager to contribute to the charm and vitality of downtown while honoring the village's historic character. The proposed murals are designed to attract visitors, create a welcoming atmosphere, and celebrate Johnstown's unique identity.

The artwork concepts include:

- A decorative wing mural, designed to serve as an interactive photo opportunity for residents and visitors.
- A historic-inspired mural, incorporating meaningful Johnstown symbols such as the Covered Bridge, Canal Boat, Corn Stalk, Welsh Dragon, Gazebo, Train, and American Flag, reflecting the heritage and small-town pride of this community.

We believe these murals will enhance the visual appeal of Main Street, encourage tourism, and create an inviting space where the community and visitors can gather and engage.

We would be grateful for your review and approval of this project. Please let us know if additional details, design specifications, or a formal presentation are required.

Thank you for your time and consideration. We are delighted to be part of Johnstown and look forward to contributing positively to its continued growth and vibrancy.

Sincerely,

Humberto Mata  
Owner, El Rey Mexican Restaurant  
65 S Main Street  
Johnstown, OH 43031

Thank you for your guidance regarding murals in Johnstown. On behalf of San Gabriel LLC (dba El Rey Brasas Mar Tekila) at 65 S Main St, Johnstown, OH 43031, I would like to formally request the Planning and Zoning Board's conditional approval to install two murals on our building.

### Proposed Murals:

1. Historic Johnstown Tribute Mural – incorporating community heritage symbols such as:
  - Johnstown Covered Bridge
  - Canal Boat / Water Drop (Ohio & Erie Canal)
  - Corn stalk (agricultural roots)
  - Welsh Dragon (heritage)
  - Gazebo/Bandstand (village square)
  - Train/Railroad (economic development)
  - American Flag (patriotic identity)
2. Interactive Angel Wings Mural – a black-and-white wing mural designed for community interaction and photo opportunities, promoting downtown foot traffic and engagement.

Both murals will be created with high-quality, weather-resistant paint, with the intent to enhance the historic and cultural atmosphere of downtown Johnstown.

Could you please provide me with the Planning & Zoning Board application form and let me know the submission deadline to be placed on the next meeting agenda?

We are excited to celebrate Johnstown's history and identity while adding art that brings the community together.

Thank you for your assistance, and I look forward to working with you and the Planning & Zoning Board.

Respectfully,

Humberto Mata

San Gabriel LLC / El Rey Brasas Mar Tekila

● 65 S Main St, Johnstown, OH 43031

## TITLE NINE - Design Review

### Chap. 1187 - Design Review Administration and Regulations.

~~1187.01—Adoption.~~

1187.~~02~~01 Purpose.

1187.~~03~~02 Definitions.

1187.~~04~~03 District boundaries.

1187.~~05~~04 Review and approval authority.

1187.~~06~~05 Certificate of Appropriateness ~~and design plan~~ required.

1187.06 Certificate of Appropriateness submittal requirements.

1187.07 Procedure for obtaining a Certificate of Appropriateness or design plan approval.

1187.08 Criteria for evaluation of application for Certification of Design Appropriateness.

1187.09 Demolition ~~criteria~~ of Structures.

1187.10 Maintenance.

1187.11 Modifications.

1187.12 Variances.

1187.13 Appeals.

1187.14 Application for variances and appeals.

1187.15 Public hearing and notice.

1187.99 Penalty.

~~1187.01—ADOPTION.~~

~~It is deemed in the best interest of the public to encourage beneficial development of the community and thereby to formulate a process to review, regulate, and encourage designs of buildings, structures, and spaces in relationship to specified areas of the community.~~

~~(Ord. 16-2010. Passed 8-17-10.)~~

**1187.~~02~~01 PURPOSE.**

~~(a) It is deemed in the best interest of the public and the City of Johnstown to encourage beneficial development within the community and thereby to formulate a process to review, regulate, and encourage designs of buildings, structures, and spaces in relationship to specified areas of the community.~~

~~(a)(b)~~ The purpose of the ~~Design Review Districts (Districts)~~ Johnstown Design Guidelines and associated design districts ~~are~~ to promote the general health, safety and welfare of the ~~Village~~

~~City of Johnstown by maintaining and increasing real estate values, generating business, creating new positions, attracting tourists, new residents establishing site and building guidelines for new construction, infill development, and remodels ensuring improvements reflect the goals and aspirations of the City's Comprehensive Plan, and to raise overall quality of development within Johnstown. and to make the~~ Additionally, these guidelines will make the Village City of Johnstown a more attractive and desirable place in which to live and work. The ~~Design Review Districts~~ districts established in the Johnstown Design Guidelines have also been created to recognize, preserve and enhance the architectural and historical character of the community and to ~~prevent intrusions and alterations within the established zoning districts which would be incompatible with their established character~~ establish consistent guidelines related to Use & Form, Orientation & Scale, Walkability & Transparency, Site & Building Details, and Access & Parking. The ~~Design Review Districts~~ districts are defined in the ~~Design Review Districts and Standards plan~~ Johnstown Design Guidelines, adopted in ~~2021~~ 2025, which is incorporated herein as reference.

~~(c)~~ The ~~Design Review Districts~~ Districts established in the Johnstown Design Guidelines are Overlay Districts. This means that the ~~requirements of this chapter are requirements~~ guidelines established in the Johnstown Design Guidelines will be applied during review which must be met in addition to the established requirements and standards of the ~~base district over which the Design Review District is placed~~ underlying zoning district.

(Ord. 25-2021. Passed 7-6-21.)

## 1187.0302 DEFINITIONS.

As used in this Chapter, the following words shall be defined as:

- (a) "Applicant" means any person, persons, association, organization, partnership, unit of government, public body or corporation who applies for a Certificate of Appropriateness in order to undertake an environmental change within the Districts.
- (b) "Certificate of Appropriateness" means a certificate authorizing any environmental change within the Design Review District.
- (c) "Design Plan" means a plan for the general design of a residential housing development within the City. A Design Plan must be approved as part of the overall Development Plan.

~~(d) "Design Review Districts and Standards" refers to the document providing building, construction and design standards for any environmental change within all Design Review districts as well as general design standards for the Village of Johnstown.~~

~~(e)~~(d) "District(s)" means the Design Review Districts established in Section 3 of the Johnstown Design Guidelines.

~~(f)~~(e) "Environmental change, major" means ~~new construction, alterations which change, modify, reconstruct, remove or demolish any exterior features of an existing structure that are not considered to be minor modifications, demolition of a structure which is permanently fixed and or attached to the ground, building addition, the addition of signage or changes to nonconforming signs and the construction of accessory buildings, structures including, fences, walls, retaining walls, decks, porches, solar panels swimming pools and spas, and similar changes as determined by the City Manager, subject to the provisions of this chapter. Any proposed construction or alteration requiring the review and approval by the Design Review Board.~~

~~(g)~~(f) "Environmental change, minor" means ~~the addition or deletion of awnings, canopies, replacement of windows and doors, gutters, skylights, satellite dishes and similar appurtenances as determined by the City Manager; face changes to otherwise conforming signs; changes to~~

~~paint and siding colors; changes in materials but not in appearance; re-roofs; landscape modifications; the construction of sports fields and associated bleachers, fences, dugouts and like facilities not requiring a commercial building permit, as approved by the City Manager and modifications to off-street parking and loading areas containing less than five spaces. All minor environmental changes must comply with the Design Guidelines and Requirements of this chapter. Minor environmental changes done in conjunction with major environmental changes are to be treated as major changes for the purposes of this chapter. Any proposed construction or alteration that may be approved by the City Manager, or designee. Environmental change, minor may be sent to the Design Review Board by the City Manager.~~

~~(h)(g)~~ "Preserve" or "preservation" means the process, including maintenance, of treating of an existing building to arrest or slow future deterioration, stabilize the structure, and provide structural safety without changing or adversely affecting the character or appearance of the structure.

~~(i)(h)~~ "Owner" means the owner of record, and the term shall include the plural as well as the singular.

(Ord. 25-2021. Passed 7-6-21; Ord. 08-2024. Passed 3-20-24; Ord. 16-2024. Passed 7-15-24.)

### **1187.0403 DISTRICT BOUNDARIES.**

~~The Design Review Districts have been defined in the Design Review Districts and Standards Plan the Johnstown Design Guidelines and are as follows include: Historic Village Center, Corridor and Urban Neighborhood District Downtown Core, Gateway Corridors, Neighborhoods, and Employment. A map of the districts can be viewed on page 8 in Figure 3.1 of the Johnstown Design Guidelines illustrate the boundaries of the Design Review Districts and Standards Plan. New non-residential structures or additions in GCC-1, GCC-2, and LM zoning districts are also subject to the Certificate of Appropriateness requirement.~~

~~The Design Review Districts have been defined in the Design Review Districts and Standards Plan and are as follows: Historic Village Center, Corridor and Urban Neighborhood District. A map of the districts can be viewed on page 8 in the Design Review Districts and Standards Plan. New non-residential structures or additions in GCC-1, GCC-2, and LM zoning districts are also subject to the Certificate of Appropriateness requirement.~~

(Ord. 25-2021. Passed 7-6-21.)

### **1187.0504 REVIEW AND APPROVAL AUTHORITY.**

The Design Review Board is hereby established to carry out the duties and functions of ~~TITLE NINE~~ Chapter 1187. The Design Review Board shall consist of five members. All five members shall be appointed by City Council. At least three members must be residents of the ~~Village-City~~ of Johnstown, two members may reside outside of the Johnstown municipal limits but must reside within Monroe Township. All members shall be appointed by Council for terms of four years. Initial term lengths shall be staggered so as to provide continuity of membership on the Board. Terms shall begin thirty (30) days after enactment of this legislation. Any member appointed to fill a vacancy occurring prior to the expiration of the term for which his/ her predecessor was appointed shall hold office for the remainder of the term.

(a) Duties and Responsibilities. The Design Review Board shall review Certificate of Appropriateness and Design Plan applications in accordance with this section. The Design Review Board shall also perform any other duties outlined in this code. It shall also be the duty of the Design Review Board:

- (1) To protect property rights and values;

- (2) To enhance the built environment, make reports, hold public meetings/hearings and perform all other duties as may be prescribed by Licking County, the Ohio Revised Code (ORC) and this code;
- (3) To review development proposals as required by this code; and
- (4) To provide recommendations to the City Council on issues that the Council may refer to the Commission.

(b) Rules of Procedure. The following Rules of Procedure shall be followed:

- (1) Quorum Requirement. A quorum of three (3) members, which may include one or more of the “standing alternates”, is required to render any decision. A majority of those voting shall prevail.
- (2) Conduct of Meetings. To implement the purpose of this DRB, certain procedures shall be adopted to include, but not be limited to, a regularly scheduled meeting attended by members of the DRB. Written meeting reviews setting forth decision and findings shall be made. These records shall be preserved as part of the official proceedings for each development proposal. Lastly, the DRB shall generally follow “Robert’s Rules of Order” and may prepare and adopt supplemental procedural rules, subject to the approval of the City Council, that will ensure the accomplishment of the stated purpose and promote the efficiency and effectiveness of the design review process.

(Ord. 42-2021. Passed 10-19-21; Ord. 12-2024. Passed 4-4-24.)

**1187.0605 CERTIFICATE OF APPROPRIATENESS AND DESIGN PLAN REQUIRED.**

- (a) A Certificate of Appropriateness is required for ~~any new non-residential structure or addition within the Design Districts, as well as GCC-1, GCC-2 and LM zoning districts and any other properties in any other zoning district which are non-conforming uses in that district and shall apply to all environmental changes~~ all construction or alterations that meet the definition of a Environmental Change, Minor or Environmental Change, Major as defined in Chapter 1187.03. ~~A Design Plan is required as part of the Development Plan for any new residential development in Johnstown.~~
- (b) A ~~zoning permit for a structure(s) requiring a~~ Certificate of Appropriateness ~~or Design Plan approval~~ shall be issued only after approval by the Design Review Board or City Manager (or designee) as outlined in Chapter 1187.08, below.
- (c) ~~Exterior w~~Work on a structure that requires approval by the Design Review Board or City Manager (or designee) shall not commence until ~~approval is granted by the Design Review Board~~ the applicable Certificate of Appropriateness has been approved. Should work commence prior to the Design Review Board approval, the property owner shall be subject to penalties per Section 1125.99 of the Planning and Zoning Ordinance.

(Ord. 25-2021. Passed 7-6-21.)

**1187.06 CERTIFICATE OF APPROPRIATENESS SUBMITTAL REQUIREMENTS.**

- (a) Certificate of Appropriateness Materials for Submission. An application that includes the information outlined below shall be included for submission as part an application for a Certificate of Appropriateness:

- (1) A dimensioned site plan showing existing conditions including all structures, pavement, curb-cut locations, natural features such as tree masses and riparian corridors, and rights-of-way.
- (2) A dimensioned site plan showing the proposed site change including structures, pavement, revised curb-cut locations and landscaping.
- (3) Illustration of all existing building elevations to scale.
- (4) Illustrations of all proposed building elevations to scale.
- (5) Samples of proposed building materials.
- (6) Color samples for proposed roof, siding, etc.
- (7) Illustrations of all existing site signage including wall and ground.
- (8) Illustrations of proposed signage to scale.
- (9) A dimensioned site plan showing location of existing ground mounted signs.
- (10) A dimensioned site plan showing the proposed location of ground mounted signs.
- (11) Samples of proposed sign materials.
- (12) Color samples of proposed sign(s).
- (13) Proposed lighting plan for sign(s).
- (14) The applicant shall post one sign per public street frontage of the subject property within fifteen (15) feet of the curb indicating the subject, date, and time for a public hearing. The sign(s) shall be posted at least ten (10) days prior to the scheduled hearing. The sign(s) should be purchased at the Johnstown City Offices and will measure no less than two (2) feet by three (3) feet.

**1187.07 PROCEDURE FOR OBTAINING A CERTIFICATE OF APPROPRIATENESS ~~OR DESIGN PLAN APPROVAL.~~**

(a) Applications for the approval of ~~the a~~ Certificate of Appropriateness ~~or Design Plan:~~

- (1) Shall be filed with the City on forms provided by the City;
- (2) Shall include all ~~required supplemental information, including such plans, drawings, specifications and other materials as may be needed by staff or the Design Review Board to make a determination materials required by Chapter 1187.06;~~
- ~~(3) Shall be submitted by the application deadline as established by the City;~~
- ~~(4)~~(3) Shall be signed by the applicant and owner attesting to the truth and exactness of all information supplied on the application.

~~(b) Design Plan Materials for Submission. The materials that may be required for submission as part of the Design Plan include but are not limited to:~~

- ~~(1) A dimensioned site plan showing existing conditions including all structures, pavement, curb-cut locations, natural features such as tree masses and riparian corridors, and rights-of-way.~~

- ~~(2) A dimensioned site plan showing the proposed site change including structures, pavement, revised curb cut locations and landscaping.~~
- ~~(3) Illustration of all existing building elevations to scale.~~
- ~~(4) Illustrations of all proposed building elevations to scale.~~
- ~~(5) Samples of proposed building materials.~~
- ~~(6) Color samples for proposed roof, siding, etc.~~
- ~~(7) Illustrations of all existing site signage including wall and ground.~~
- ~~(8) Illustrations of proposed signage to scale.~~
- ~~(9) A dimensioned site plan showing location of existing ground mounted signs.~~
- ~~(10) A dimensioned site plan showing the proposed location of ground mounted signs.~~
- ~~(11) Samples of proposed sign materials.~~
- ~~(12) Color samples of proposed sign(s).~~
- ~~(13) Proposed lighting plan for sign(s).~~
- ~~(14) The applicant shall post one sign per public street frontage of the subject property within fifteen (15) feet of the curb indicating the subject, date, and time for a public hearing. The sign(s) shall be posted at least ten (10) days prior to the scheduled hearing. The sign(s) should be purchased at the Johnstown City Offices and will measure no less than two (2) feet by three (3) feet.~~

~~(e)(b)~~ City Staff, including the City Engineer and the City Planner~~the City Manager or designees~~, shall review the submitted materials for completeness and shall determine:

- (1) If it is found to be complete, place the Certificate of Appropriateness ~~or Design Plan~~ application on the next appropriate Design Review Board agenda or conduct an administrative review as applicable; or
- (2) If it is found to be incomplete, reject the application and return the application and fee to the applicant with an itemization of deficiencies.

~~(e)~~ Any minor environmental change requires a Certificate of Appropriateness issued by the Village Manager~~All applications for a Certificate of Appropriateness that meet the definition of an Environmental Change, Major shall be reviewed by the Design Review Board. Based on the review criteria established in Chapter 1187.09, the Design Review Board shall make a determination as to whether to approve, approve with conditions, or deny an application for a Certificate of Appropriateness as described in Chapter 1187.08(e), below.~~

~~(e)~~ Any major or minor environmental change which requires a variance to the requirements of this chapter requires a Certificate of Appropriateness to be issued by the Planning and Zoning Commission~~All applications for a Certificate of Appropriateness that meet the definition of an Environmental Change, Minor shall be reviewed by the City Manager or designee and a Certificate of Appropriateness if all review criteria established in Chapter 1187.09. If the City Manager or designee are unable to make a determination as to approve, approve with conditions, or deny an application, the application may be forwarded to the Design Review Board.~~

~~(e)~~ Design Plan Approval and Issuance of a Certificate of Appropriateness. The Design Review Board ~~shall~~shall, after receipt of reports from the City ~~Planner or City Engineer~~Manager, or designee - determine whether the Certificate of Appropriateness ~~or Design Plan~~ shall be approved, conditionally approved, or disapproved. The application shall not be approved unless

the Design Review Board finds that all of the applicable provisions in the Planning and Zoning Ordinance and the ~~Design Review Districts and Standards~~Johnstown Design Guidelines have been satisfied and that the site plan meets the purpose and intent of this chapter, including the location and configuration of the building(s), landscaping, off-street parking, driveways and site amenities are visually harmonious within the site and its surroundings.

- (1) If the ~~Design Plan~~Certificate of Appropriateness is disapproved, the reasons for a disapproving vote shall be stated by those members and it shall be captured in the minutes of the meeting.
- (2) ~~Design Plans~~Certificates of Appropriateness must shall be heard by the Design Review Board or reviewed by the City Manager, or designee be approved, conditionally approved or disapproved within thirty (30) working days from the date of receipt of a completed application as determined by the City Manager or Designee. This thirty (30) day period may be extended by the mutual agreement of the Design Review Board and the applicant.
- (3) ~~Design Plan~~Certificate of Appropriateness approval shall be for a period not to exceed eighteen (18) months from the approval date of the ~~Design Plan~~application. If construction has not started within eighteen (18) months of approval of a Certificate of Appropriateness, the approval shall become null and void.
- (4) If no construction has begun within ~~two (2) years~~two (2) years after approval is granted, ~~the approved Exterior Plan shall become null and void~~the applicant may request a one-time six (6) month extension from the Design Review Board. Any application for an extension must be completed and scheduled for hearing prior to the expiration of the applicable COA approval.
- (5) ~~Design Plans~~Certificates of Appropriateness approved prior to the adoption of this section, in which work has not commenced, shall become null and void one (1) year after the adoption of this section.

(f) Environmental Change Major and Minor. The table below illustrates the environmental changes categorized by design review district, major and minor, and proposed action to the structure. An "X" denotes whether the proposed change requires review by staff or the Design Review Board. An "NA" denotes that no review related to Chapter 1187 is required. All other applicable zoning certificate and building permit requirements must be met.

<b>ENVIRONMENTAL CHANGE TABLE</b>								
<u>Proposed Change</u>	<u>Design Review District</u>							
	<u>Historic Downtown</u>				<u>Commerce Corridor</u>		<u>Neighborhoods</u>	
	<u>CMU</u>		<u>Residential</u>					
	<u>Major</u>	<u>Minor</u>	<u>Major</u>	<u>Minor</u>	<u>Major</u>	<u>Minor</u>	<u>Major</u>	<u>Minor</u>
<u>New construction</u>	X		X		X		X	
<u>Alterations which incorporate two or more Minor changes shall be considered a Major change</u>	X		X		X		X	
<u>Demolition of a primary structure</u>	X		X			X		X
<u>Building addition</u>	X		X		X		X	
<u>The addition of signage or changes to nonconforming signs</u>	X		X			X		NA
<u>Construction of accessory buildings</u>	X		X			X		NA
<u>Construction of structures located between the primary structure and adjacent right-of-way such as fences, walls, retaining walls, decks, or porches</u>	X		X			X		NA
<u>Installation of solar panels</u>	X		X			X		X
<u>Changes to exterior paint, siding colors, exterior materials</u>	X		X			X		NA
<u>Change of building color</u>	X		X			X		X

**ENVIRONMENTAL CHANGE TABLE**

<u>Proposed Change</u>	<u>Design Review District</u>							
	<u>Historic Downtown</u>				<u>Commerce Corridor</u>		<u>Neighborhoods</u>	
	<u>CMU</u>		<u>Residential</u>					
	<u>Major</u>	<u>Minor</u>	<u>Major</u>	<u>Minor</u>	<u>Major</u>	<u>Minor</u>	<u>Major</u>	<u>Minor</u>
<u>Replacement of windows and doors, gutters, skylights, and similar appurtenances with the same materials or better</u>		X		X		X		NA
<u>Face changes to otherwise conforming signs</u>		X		X		X		NA
<u>Repainting or refinishing paint and siding using the same or existing colors</u>		X		X		NA		NA
<u>Replacement of materials using same materials with no change in appearance</u>		X		X		NA		NA
<u>Re-roofs using preferred materials as noted in the Johnstown Design Guidelines without change in roof color</u>		X		X		X		X
<u>Modifications to off-street parking and loading areas containing less than five spaces</u>		X		X		X		NA

(1) Proposals that deviate from the regulations in Chapter 1159.04 shall be reviewed by the Design Review Board. Proposals that meet the regulations may be approved administratively.

(Ord. 35-2021. Passed 8-17-21.)

**1187.08 CRITERIA FOR EVALUATION OF APPLICATION FOR CERTIFICATION CERTIFICATE OF DESIGN APPROPRIATENESS.**

In considering the appropriateness of any proposed environmental change, including landscaping or exterior signage, the Board or City staff member shall consider the following, as a part of its review:

(a) The proposed environmental change application is in compliance with the Johnstown Design Guidelines. The proposed environmental change is to comply with the Design Guidelines and Requirements of the City, incorporated by reference.

(b) The proposed environmental change aligns with the goals of the applicable land use district in the Johnstown Comprehensive Plan.

(c) Use and Form

(1) The proposed building form – size, setbacks, height, location – are consistent with the underlying zoning and achieve the guidelines set forth in the Johnstown Design Guidelines.

(2) Buildings are designed and located on the site to best support the proposed use, create welcoming and active streets, and maximize shared use and consolidation of vehicular access and parking areas.

(d) Orientation & Scale

(1) Buildings are designed to have well-defined front facades and easily identified front doors.

(2) Buildings are oriented to face adjacent sidewalks and streets.

(3) Buildings are located to create an internal circulation network defined by buildings, as applicable.

(4) Scale of new development aligns with the guidelines for the applicable district in the Johnstown Design Guidelines.

(5) New development is designed at a scale that complements the small-town character exhibited throughout the community – pedestrian friendly streets with one- to three-floor buildings, generally.

(e) Walkability & Transparency

(1) Sidewalks and expanded pedestrian and bicycle connectivity are included in new development within the design review districts.

(2) Commercial and mixed-use development buildings include first-floors with large windows and clearly defined primary entries.

(3) Site features such as outdoor dining, plazas, public seating areas, and bicycle parking are considered and included where feasible in all new developments.

(f) Site & Building Details

(1) The historic character of a property is retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property are avoided.

(2) Alterations that have no historical basis and which seek to create an appearance inconsistent or inappropriate to the original integrity of the property is discouraged.

- (3) Deteriorated historic features are repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature the new feature matches the original in design, color, texture, and other visual qualities and, where possible, materials.
- (4) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials are not be used. The surface cleaning of structures utilize the gentlest means possible.
- (5) Proposed additions, exterior alterations, or related new construction do not destroy historic materials that characterize the property. The new work is differentiated from the old and is compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (6) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
- (7) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property are preserved.
- (8) Site landscaping features a cohesive design that incorporates native materials and complements overall site design.
- (9) Site details including building and parking area lighting, site furniture, and other fixtures are of consistent material and complement overall building design and site materials.

(g) Access & Parking

- (1) The applicable guidelines for the design review district are applied to the overall site and building design.
  - (2) Vehicular parking is consolidated to the greatest extent possible, and access to front doors for pedestrians is provided consistent with the applicable design review district.
  - (3) Parking is located and screened as recommended in the design review district.
  - (4) Loading areas are located and screened as described in the applicable design review district.
- ~~(a) The compliance of the application with the Design Guidelines and Requirements. The proposed environmental change is to comply with the Design Guidelines and Requirements of the City, incorporated by reference.~~
  - ~~(b) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.~~
  - ~~(c) The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.~~
  - ~~(d) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.~~
  - ~~(e) Each property shall be recognized as a physical record of its historic time, place and use. Alterations that have no historical basis and which seek to create an appearance inconsistent or inappropriate to the original integrity of the property shall be discouraged.~~
  - ~~(f) Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.~~

- ~~(g) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.~~
- ~~(h) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures if appropriate shall be undertaken using the gentlest means possible.~~
- ~~(i) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.~~
- ~~(j) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.~~
- ~~(k) Significant archeological resources affected by a project shall be protected and preserved, if such resources must be disturbed, mitigation measures shall be undertaken.~~
- ~~(l) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.~~
- ~~(m) Demolition of a structure shall follow the criteria for evaluation and submittal requirements outlined in Section 1187.09 as well as all items in Section 1187.08 as it relates to consideration of the demolition of a structure.~~

(Ord. 16-2024. Passed 7-15-24.)

#### **1187.09 DEMOLITION OF STRUCTURES.**

- (a) Decisions approving or denying Certificates of Appropriateness for the demolition of structures will be guided by the following criteria, among other considerations.
  - (1) The historic, architectural, or cultural significance of the structure.
  - (2) How the structure contributes to the identity of the district.
  - (3) The feasibility of reproducing the structure due to characteristics unique to the building, including design, materials, architectural details, etc.
  - (4) Whether the structure represents a specific example of period construction or is the one of the last remaining buildings from this period.
  - (5) Plans for the reuse of the property and how these plans affect the character and identity of the surrounding district.
  - (6) Whether the structure presents a clear danger to the health and safety of the public. This may include the possibility of unexpected collapse, existence and dissemination of pollutants, unauthorized use, etc.
  - (7) Whether there is clear evidence that alternatives to demolition have been explored.
  - (8) Whether there is benefit to the public to protect or demolish the structure based on the current or projected use of the property.

- (9) Whether the structure has been altered to the extent that no historic or architectural relevance is
- (10) Is there a reuse plan? A new structure would need to have conformity with the surrounding architecture.
- (11) Is it legitimately in poor enough structural condition as to warrant demolition and not "demolition by neglect"
- (12) Does the demolition negatively affect adjacent property owners?
- (13) The lot must be returned to turf and landscape, and anything posing a danger must be filled/remediated like basements/foundations/septic tanks/cisterns etc. The Design Review Board can also decide if they want to ensure that foundation slabs, driveways, walkways, fences, etc. are removed.

(b) Purposeful Neglect. The Design Review Board will not approve applications where the willful neglect of a property is evident. In cases of intentional neglect, or damage, where the property has been allowed to deteriorate with the purpose of causing demolition, the owner may be held responsible for the cost to stabilize, repair, or replace the structure.

(Ord. 16-2024. Passed 7-15-24.)

**1187.10 MAINTENANCE.**

Nothing in this Chapter shall be construed to prevent ordinary maintenance or repair of any property within the Design Review District, nor shall anything in this Chapter be construed to prevent any change, including the construction, reconstruction, alteration or demolition of any feature which in the view of the Village-City Manager is required for the public safety because of an unsafe, insecure or dangerous condition.

(Ord. 16-2010. Passed 8-17-10.)

**1187.11 MODIFICATIONS/AMENDMENTS TO APPROVED CERTIFICATES OF APPROPRIATENESS.**

~~Certificates of Appropriateness or Design Plans which have been previously approved by the Design Review Board and require minor modifications may be made with the approval of the Chair of the Design Review Board and the City Planner amendment shall apply for an amendment following the procedures outlined in Chapter 1187.07 and include the submittal requirements established in Chapter 1187.06. To apply, the applicant shall submit to the City Planner four (4) sets of the previously approved plans and the proposed minor modification, along with a written statement explaining the reason for the proposed minor modification. Within ten (10) working days after the plan submission, the City Planner and the Chair of the Design Review Board shall review and approve or disapprove the minor modification. Input from the City Engineer can be requested by the City Planner and the Chair of the Design Review Board. Approval shall be granted only if the City Planner and the Chair of the Design Review Board unanimously agree the minor modification does not significantly change the previously approved plan. If unanimous consent is not obtained, the proposed minor modifications are disapproved and can only be made if approved by the Design Review Board.~~

(Ord. 25-2021. Passed 7-6-21.)

~~**1187.12 VARIANCES.**~~

~~Any variance request shall follow the provisions as set forth in Chapter 1133 of the Codified Ordinances of the Village of Johnstown.~~

~~(Ord. 25-2021. Passed 7-6-21.)~~

### **1187.1312 APPEALS.**

Any applicant aggrieved by a decision of a Village-City Manager involving an environmental change, may appeal the decision to the Planning and Zoning Commission. Such appeal must set forth in writing the grounds for the appeal and must be filed with the Village-City within thirty (30) days of the issuance of decision being appealed.

~~(a) Any applicant aggrieved by any decision of the Design Review Board may appeal the decision to the Planning and Zoning Commission of the Village of Johnstown. Such appeal must set forth in writing the grounds for the appeal and must be filed with the Village within thirty (30) days of the adverse decision.~~

(Ord. 25-2021. Passed 7-6-21.)

### **1187.1413 APPLICATION FOR VARIANCES AND APPEALS.**

Any person owning or having an interest in property, after being denied a Certificate of Appropriateness (COA) or Design Plan Approval, may file an application to ~~obtain a variance from the requirements of this chapter or~~ appeal the decision from the Design Review Board or decision of the Village-City Manager involving an environmental change. ~~Fifteen copies of a provided~~A completed application accompanied by a copy of the denied COA and a statement of the reason for denial should be filed with the Village-City Manager not more than 20-thirty (30) days from the date such denial of the COA was issued. The application ~~of a variance or for~~ an appeal shall contain the following information:

- (a) Name, address and phone number of the applicant.
- (b) Legal description of property as recorded in Licking County Recorder's office.
- (c) Each application for an an variance or appeal shall refer to the specific ~~provisions of this chapter which apply~~denial of a Certificate of Appropriateness from the Design Review Board or City Manager.
- (d) The names and addresses of all property owners within two-hundred (200) feet, contiguous to, and directly across the street from the property, as appearing on the Licking County Auditor's current tax list.
- (e) A narrative statement explaining the following:
  - (1) The use for which variance or appeal is sought.
  - (2) Details of the ~~variance or~~ appeal that is applied for and the grounds on which it is claimed that the ~~variance or~~ appeal should be granted, ~~as the case may be.~~
  - (3) The specific reasons why the ~~variance or~~ appeal is justified according to this chapter.
  - (4) Such other information regarding the application for ~~variance or the~~ appeal as may be pertinent or required for appropriate action by the Planning and Zoning Commission.

(Ord. 25-2021. Passed 7-6-21.)

**1187.1514 PUBLIC HEARING AND NOTICE FOR APPEALS.**

- (a) Public Hearing. The Planning and Zoning Commission shall hold a public hearing within forty-five (45) days after receipt of an application for an appeal of a Certificate of Appropriateness denial by the Design Review Board or City Manager ~~or variance~~ from an applicant.
- (b) Notice of Public Hearing.
  - (1) Before conducting the required public hearing, notice of the hearing shall be given in one or more newspapers of general circulation in the ~~Village~~City at least seven (7) days before the date of said hearing. The notice shall set forth the time and place of the public hearing and the nature of the proposed appeal ~~or variance~~.
  - (2) Written notice of the required public hearing shall be mailed by first class mail. ~~at~~At least ten (10) days before the day of the hearing to owners of property within two-hundred (200) feet from, contiguous to, and directly across the street from the property being considered.

(Ord. 25-2021. Passed 7-6-21.)

**1187.99 PENALTY.**

- (a) Whoever constructs, reconstructs, alters, or modifies any exterior architectural or environmental feature now or hereafter within the Design Review District in violation of this chapter. shall be subject to the penalties specified in ~~Section~~Chapter 1125.99.
- (b) Any property owner that demolishes a structure within the Design Review District in violation of this chapter shall be subject to a fine of up to ten thousand dollars (\$10,000).

(Ord. 16-2010. Passed 8-17-10.)



## CONDITIONAL USE PERMIT APPLICATION: CHAPTER #1131.02

Application Number: 2-9-26 Date: 2 / 9 / 26

**FEES:**

Number of Certified Letters to Contiguous Property Owners:     @ \$8.53 = \$ PAID

Newspaper Advertising Expense: \$ 34.22

Application Fee: \$500

Total Fee Amount: \$ 500 Paid: Check # 53555 / Cash: \$ CITY OF JOHNSTOWN

FEB 11 2026

1. Applicant's Name: Granville Milling Company Phone:                     

2. Mailing Address: P.O. Box 393 City: Granville State: OH Zip: 43023

3. E-mail Address:                      Zoning District: GC-2

4. Property Address: 11091 Johnstown <sup>rd</sup> West City: Johnstown State: OH Zip: 43031

5. Proposed Use of Property: Feed & Beverage Retail

6. Number and dimensions of existing and proposed off-street parking or loading spaces, applicable. 11 - 9'x16' (2 hand. capped) 4 - 9'x20'

7. Number of Dwelling Units: N/A

8. Square Feet of Living Area (Residential Use Only): N/A

9. Yard Dimensions: Front: 300' x 100' Rear: N/A Left Side: 200' x 40' Right Side: N/A

10. Percentage of Lot to be covered: 20 % Area of Lot: 7200 sq. ft. - Additional

11. A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading area, traffic circulation, open spaces, landscaping, refuse, and service areas, utilities, signs, yards, and such other information as the Planning and Zoning Commission may require, to determine if the proposed conditional use meets the intent and requirements of this Ordinance #1131.01 to #1131.09.

12. A narrative statement evaluating the effects on adjoining property, and a discussion of the general compatibility with adjacent and other properties in the district.
13. The names and addresses of all property owners contiguous to, and directly across the street from the property, as appearing on the Licking County Auditor's current tax list.
14. Such other information regarding the property, proposed use, or surrounding area may be pertinent to the deliberations of the Planning and Zoning Commission as determined by the City Planner.

**IN ADDITION, THE FOLLOWING ITEMS MUST ACCOMPANY THIS APPLICATION:**

- A set of two (2) scale plans and dimensioned drawings showing the lot, with location of existing and proposed buildings their height and planned alterations are required.
- Attach any requested, supplemental, or necessary documentation such as: Number of dimensions of existing and proposed off-street parking or loading spaces, applicable. Other material may be requested by the Zoning Inspector to determine conformance with and provide for the enforcement of this ordinance.
- For all new businesses or changes of business use, for all commercial buildings with interior remodeling projects you are required to notify the Johnstown Monroe Fire Inspector at (740) 967-2976 of business and interior structure changes. A Licking County Building Department Permit is required for all structural changes, electrical, HVAC and plumbing. Their contact number is (740) 349-6671. (Ask for Heidi or Erin)

*The undersigned is applying for a Conditional Use Permit for the following use to be issued based on the information contained within this application. The applicant hereby certifies that all information and attachments to this application are true & correct and agrees to follow all applicable regulations.*

Applicant's Signature: John Reed Date: 2 / 9 / 26

<b><u>OFFICE USE ONLY:</u></b>	
Date Received in Office: <u>2 / 11 / 26</u>	By: <u>[Signature]</u>
Permit was Approved Issued on Date: _____ / _____ / _____	
Permit was Denied on Date: _____ / _____ / _____	
Commission Chairperson Signature: <u>x</u> _____	
Additional Comments or Requirements:	

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**NOTICE OF PUBLIC HEARING**

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Johnstown Planning and Zoning Commission will hold a public hearing on Tuesday, March 10, at 6:30 p.m. in the City Council Chambers at 599 South Main Street, Johnstown, Ohio 43031

In accordance with Section 1131.02 of the Johnstown Codified Ordinances, the applicant is seeking a Conditional Use permit for the GCC-2 zoning district for Drive Through Facility at 11891 Johnstown Utica Road.

For more information contact:  
The City of Johnstown  
(740) 967-3177 x6

12. Granville Milling Co. located at 11891 Johnstown Utica Road is planning to add an 80'x90' drive thru for feed and beverage sales. The site currently sells feed and supplies, so effects on adjacent property owners should be zero.

13. Contiguous property owners:

Emery William K & Susan K  
11740 Johnstown Utica Road  
Johnstown, Ohio 43031

Reeves Albert C  
11841 Johnstown Utica Road  
Johnstown, Ohio 43031

~~Village of Johnstown  
11999 Johnstown Utica Road  
Johnstown, Ohio 43031~~

N/A

Salyer Company  
Johnstown Utica Road  
Johnstown, Ohio 43031

297 Central Station Dr

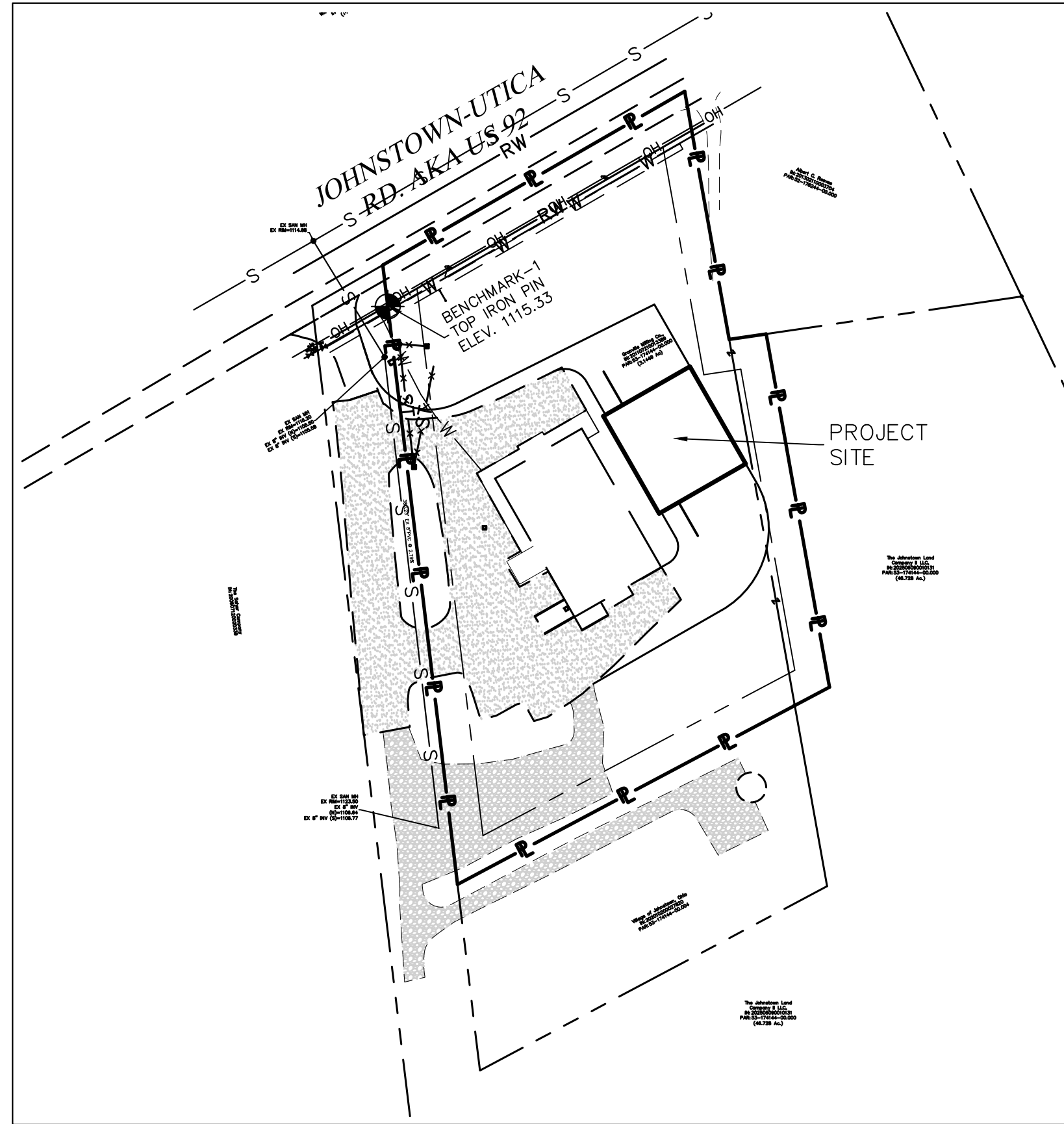
~~Johnstown Land Company II LLC  
11943 Johnstown Utica Road  
Johnstown, Ohio 43031~~

NACO  
8000 Walton Pkwy Suite 200  
New Albany, Oh  
43054

\* Notices mailed 3-2-2026

# GRANVILLE MILLING, BUILDING ADDITION

11891 Johnstown-Utica Road  
CONSTRUCTION PLANS  
CITY OF JOHNSTOWN, LICKING COUNTY, OHIO  
2026



Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	GENERAL NOTES
3	EX CONDITIONS AND DEMO PLAN
4	SITE PLAN
5	GRADING PLAN
6	STORM SEWER PROFILES AND DETAILS
7	UTILITY PLAN
8	SWPPP PLAN
9	SWPPP DETAILS

**OWNER/DEVELOPER:**  
GRANVILLE MILLING /OWNER  
Tod Van Ness  
TLV Services, Inc.,  
3661 Lancaster Road,  
Granville, OH 43023

**APPROVALS**

SIGNATURES BELOW SIGNIFY ONLY AGREEMENT WITH THE GENERAL PURPOSES AND INTENT OF THE PROJECT. ALL TECHNICAL DETAILS REMAIN THE RESPONSIBILITY OF THE OWNER AND ENGINEER PREPARING THE PLANS.

CITY OF JOHNSTOWN, MANAGER SEAN STANEART	DATE
CITY OF JOHNSTOWN, SERVICE DEPARTMENT JACK LIGGETT	DATE
CITY OF JOHNSTOWN, ENGINEERING PLANS REVIEWER	DATE

**STANDARD CONSTRUCTION DRAWINGS**  
THE STANDARD CONSTRUCTION DRAWINGS LISTED ON THESE PLANS ARE CONSIDERED TO BE A PART THEREOF:

OHIO DEPARTMENT OF TRANSPORTATION STANDARD DRAWINGS			
CB 2-2A	CATCH BASIN NO. 2-2A	DM-1.1	OUTLETS, DRAINS AND SEWERS
CB 2-2C	CATCH BASIN NO. 2-2C	DM-4.4	EROSION CONTROL MISC
HW-2.1	HALF HEIGHT HEADWALL		

CITY OF JOHNSTOWN STANDARD DRAWINGS			
WATER	SANITARY SEWER		
800-2	RESTRAINING JOINTS AND TAPPING SLEEVE	900-7	SERVICE RISER AND SERVICE LATERAL
800-3	CONCRETE BLOCKING JOINTS	900-7(2)	SERVICE RISER AND SERVICE LATERAL
800-4	TRENCH DETAIL	900-9	CLEANOUT
800-5	WATER MAIN MATERIAL & TESTING	900-10	BLDG SEWER CONNECTION
800-6	MISC. WATER NOTES	900-11	TESTING NOTES
800-7	WATER MAIN SERV. CONNECTION METERS	900-12	MISC. SANITARY SEWER NOTES
800-7(2)	INSIDE WATER MAIN SERV. CONNECTION METERS	900-12(2)	MISC. SANITARY SEWER NOTES
800-8	INSIDE (APPROVAL REQUIRED) WATER MAIN SERVICE CONNECTION-METER	900-13	SERVICE CONNECTION LOCATION REFERENCE
800-9	PITS	900-17	PRIVATE CLEANOUT
800-9	1-3" COMPOUND METER W/BYPASS		
800-13	LIMITED AREA SPRINKLER SYSTEM DETAIL		
800-14	COMB. FIRE & DOMESTIC IN BLDG., DETAIL		
800-15	REDUCED PRESSURE DETECTOR ASS'Y		
800-16	DOUBLE DETECTOR CHECK VALVE DETAIL		
800-20	FIRE LINE DETAIL AND NOTES		
800-21	FIRE LINE DETAIL AND NOTES		
800-22	TRACER WIRE FOR WATER MAIN PIPE DETAIL		
800-23	COPPERHEAD TRACER SYSTEM FOR SERVICE/CURB BOX & FIRE HYDRANT		
800-24	15-INCH SINGLE COIL METER PIT		

**SITE DATA**

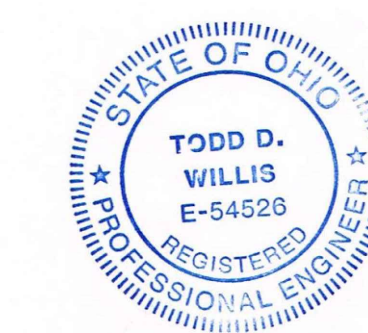
SITE AREA = 4.0 AC.  
DISTURBED AREA = 1.60 AC  
RUNOFF FLOWS TO US 62 DITCH  
PRE CN=72 / POST CN=84

**ZONING**

DISTRICT 2  
ZONING GCC-2  
FRONT SETBACK = 30' MIN.  
REAR SETBACK = 25' MIN  
SIDE SETBACK = 25' MIN  
MAX BLDG HEIGHT = 40'

**BENCHMARK**

B.M. #1  
5/8" DIA. IRON PIN FOUND AT A NORTHWEST CORNER OF PROPERTY (NAD 83, OH SOUTH ZONE)  
N: 780031.87  
E: 19008583.95  
ELEV.=1115.33 (NAVD 88)



*Todd Willis*  
TODD WILLIS, P.E.      54526      1/26/2026  
REG. NO.      DATE

**For Construction**

ADDENDUMS		
ADDENDUM NO.	ADDENDUM DATE	ISSUED BY

**UNDERGROUND UTILITIES**  
CONTACT SERVICE  
TWO WORKING DAYS  
**BEFORE YOU DIG**  
  
811 OR 1-800-362-2764  
(TOLL FREE)



**REVISIONS**

REV. NO.	DESCRIPTION

DRAWN	TW, LP
CHECKED	
Job No. 25270	
CITY OF JOHNSTOWN, LICKING, OHIO	
<b>CONSTRUCTION PLANS</b>	
Project GRANVILLE MILLING, BUILDING ADDITION	
Sheet Name COVER SHEET	
<b>WILLIS ENGINEERING &amp; SURVEYING</b>	
Date: 1/26/2026	Scale: 1"=50' Horz. 1"= 5' Vert.
12512 West Bank Drive Millersport, OH 43046 (740) 739-4030	
Sheet 1	

For Construction

ADDENDUMS

Table with 3 columns: ADDENDUM NO., ADDENDUM DATE, ISSUED BY

UNDERGROUND UTILITIES CONTACT SERVICE TWO WORKING DAYS BEFORE YOU DIG OHIO811.org Before You Dig 811 OR 1-800-362-2764 (TOLL FREE)

REVISIONS

Table with 2 columns: REV. NO., DESCRIPTION

DRAWN TW, LP CHECKED Job No. 25270

CITY OF JOHNSTOWN, LICKING, OHIO CONSTRUCTION PLANS

Project GRANVILLE MILLING, BUILDING ADDITION

Sheet Name GENERAL NOTES

WILLIS ENGINEERING & SURVEYING

Date: 1/26/2026 Scale: WES 12512 West Bank Drive Millersport, OH 43046 (740) 739-4030

Sheet 2

SANITARY SEWER:

ROOF DRAINS, FOUNDATION DRAINS AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED AS PER CITY OF JOHNSTOWN.

- ALL SANITARY SEWERS (MANS AND LATERALS): 1. MATERIALS AND SPECIFICATION: ASTM D-3034,SDR 35; a. ALL SANITARY SEWERS WITH MORE THAN 15' OF COVER SHALL BE CONSTRUCTED WITH EXTRA STRENGTH VITRIFIED CLAY PIPE. 2. JOINT SPECIFICATION: ASTM D-3212 3. BEDDING CLASSIFICATION: #57 STONE 100% PASS 3/4" SIEVE. 4. ALL SEWER MAINS SHALL HAVE A MINIMUM OF THREE (3) FEET OF COVER. 5. INSTALL A CLEANOUT AT THE END OF ALL LATERALS. SEE DETAIL ON ARCHITECTS PLAN PAGE P1.3.

- SANITARY SEWERS (PRESSURE): 1. MATERIAL SPECIFICATION: AWWA C-900, AWWA C-905 OR ASTM D-2241 2. JOINT SPECIFICATION: ASTM D-3139

- ALL SANITARY MANHOLES: 1. TYPE: PRECAST: STD. DWG 900-0, 900-2 2. MATERIAL SPECIFICATION: ASTM C-150 3. JOINT SPECIFICATION: ASTM C-443

- TESTING (ALL SANITARY SEWERS -MANS AND LATERALS) 1. MANDREL TEST: THE CONTRACTOR SHALL MANDREL TEST ALL PVC SANITARY SEWER PIPES FOR DEFLECTION A MINIMUM OF 30 DAYS AFTER INSTALLATION. PIPE DEFLECTION SHALL NOT EXCEED 5%. 2. LEAKAGE TEST: (HYDROSTATIC OR AIR); HYDROSTATIC (MINIMUM 2' POSITIVE HEAD); INFILTRATION OR EXFILTRATION SHALL NOT EXCEED 100 GALLON/INCH DIAMETER/MILE/DAY. AIR: ASTM F-1417 3. ALL TESTING SHALL BE WITNESSED BY AN AUTHORIZED REPRESENTATIVE OF THE DIVISION OF WATER.

- TESTING (SANITARY MANHOLES): 1. DAMAGE: MANHOLES SHALL BE VISUALLY INSPECTED FOR DAMAGE PRIOR TO INSTALLATION WITH LIFT HOLES FILLED WITH NON-SHRINKING MORTAR. 2. LEAKAGE TEST (AIR): ASTM C-1244.

ALL LATERALS SHALL BE 4-INCH MINIMUM AND SHALL BE CONSTRUCTED AS PER CITY OF NEWARK STANDARD DRAWING 900-4. WYE POLES SHALL BE PAINTED FLUORESCENT GREEN.

SERVICES OR HOUSE CONNECTIONS SHALL NOT BE CONNECTED TO THE LATERAL OR MAIN LINE SEWERS SHOWN HEREON UNTIL FULL APPROVAL OF SAID LATERAL OR MAIN SEWER HAS BEEN RECEIVED.

RISERS SHALL BE PLACED ON ALL WYES WHERE THE FLOW LINE DEPTH IS GREATER THAN 12 FEET. TOPS OF RISERS ARE TO BE 10 FEET BELOW GROUND, PLUS OR MINUS ONE FOOT, OR AS OTHERWISE ORDERED.

WHERE THE SANITARY SEWER CROSSES UNDER A PROPOSED STORM SEWER: THE TRENCH SHALL BE BACKFILLED TO THE BOTTOM OF THE PROPOSED STORM SEWER WITH COMPACTED GRANULAR MATERIAL.

ALL SANITARY SEWERS SHALL BE STAKED BY A REGISTERED SURVEYOR AT 25 FOOT STATIONS UNLESS A LASER IS USED AND THEN THEY SHALL BE STAKED AT 100 FOOT STATIONS.

ALL SANITARY SEWER MAINS SHALL BE TV CAMERA INSPECTED BY CITY PERSONNEL PRIOR TO ACCEPTANCE AND SHALL BE FREE OF DEBRIS AND STRUCTURAL DEFECTS. A NEENAH R-1642, EAST JORDAN 1047, OR EQUIVALENT COMBINATION RING AND LID SHALL BE USED ON ALL MANHOLES.

SANITARY SEWERS SHALL MAINTAIN A MINIMUM OF 18" VERTICAL AND 10 FOOT HORIZONTAL CLEARANCE FROM ALL WATERLINES.

ALL SANITARY MANHOLE BOTTOMS SHALL HAVE A SMOOTH CONTINUOUS RADII CHANNEL FOR TURNING SIDE DRAINS. SEE THE CITY OF COLUMBUS STANDARD DRAWING AA-S117 FOR A VISUAL DETAIL.

ALL SANITARY TAPS SHALL BE CONSTRUCTED TO THE RIGHT OF WAY OR EASEMENT BY SITE UTILITY SUBCONTRACTOR. SANITARY WYES SHALL NOT BE INSTALLED CLOSER THAN 6 FEET APART. 10 FEET OF SEPARATION SHALL BE MAINTAINED BETWEEN WATER SERVICES AND SEWER LATERALS.

THE CONTRACTOR SHALL MAKE PROVISIONS TO MAINTAIN FLOWS IN THE EXISTING SEWER AT ALL TIMES DURING CONSTRUCTION. METHODS FOR MAINTAINING FLOWS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO CONSTRUCTION. AT NO TIME WILL SANITARY SEWAGE BE ALLOWED TO DISCHARGE TO ANY RIVER OR STREAM NOR SPILL OUT ON THE GROUND. APPROVAL OF PLANS BY THE ENGINEER TO MAINTAIN FLOWS SHALL NOT RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TO ADEQUATELY PROVIDE FOR ALL FLOWS.

THE CONTRACTOR SHALL BE AWARE THAT THE EXISTING SEWERS MAY BE OPERATING UNDER PRESSURE <HEAD> DURING TIMES OF RAINFALL; THEREFORE THE CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING ON THESE SEWERS.

WATERLINE:

WATER SERVICE LINES, IRRIGATION AND FIRE LINES SHALL BE CONSTRUCTED AS PER CITY OF JOHNSTOWN STANDARD DRAWINGS, 800-4 THRU 800-9, 800-13 THRU 800-21.

WATER LINES SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE, CLASS 52, CEMENT LINED WITH BITUMINOUS COATING.

HYDRANTS SHALL BE AMERICAN DARLING MODEL B-84-B WITH ANCHORING PIPE LENGTH AS REQUIRED TO PLACE HYDRANT MIDWAY BETWEEN THE CURB AND SIDEWALK, AS SHOWN IN THE CITY OF NEWARK STANDARD DRAWINGS 800-5 AND 800-6. MINIMUM OF 2 FEET BEHIND BACK OF CURB.

ALL BENDS, JOINTS AND DEFLECTIONS, AND FITTINGS SHALL BE BLOCKED WITH CONCRETE AS PER CITY OF NEWARK STANDARD DRAWINGS 800-3 AND 800-4, AS WELL AS SPECIFICATION 801-5 OR APPROVED JOINT RESTRAINT (IE) MEGALUG, UNIFLANGE, GRIP RING.

ALL TEES SHALL BE ANCHORING TEES (CLOW F-1217).

ALL WATER SERVICE LINES SHALL BE AS PER CITY OF NEWARK STANDARD DRAWING 800-WS-3 OR 800-WS-3A WITH CURB BOX AND STOP TO BE INSTALLED 1 FOOT INSIDE THE RIGHT OF WAY OR EASEMENT BY UTILITY SUBCONTRACTOR.

WATERLINE SHOULD BE STAKED TO ENSURE PROPER DEPTH VS. FINISHED GRADE.

THE WATERLINE SHALL BE TESTED AND DISINFECTED PRIOR TO ACCEPTANCE BY THE CITY OF NEWARK AS PER AWWA C600-99 (HYDROSTATIC TEST) AND AWWA C651-99 (DISINFECTION). COST FOR TESTING SHALL BE INCLUDED IN THE PRICE BID FOR ITEM 801.

INDIVIDUAL BOOSTER PUMPS SHALL NOT BE ALLOWED FOR ANY INDIVIDUAL SERVICE.

THE NORMAL WORKING PRESSURE IN THE WATERLINES WILL NOT BE LESS THAN 35 PSI AS PER INFORMATION PROVIDED BY THE CITY OF NEWARK.

IN ALL CONFLICTS IN GRADE BETWEEN WATERLINES AND GRAVITY SEWERS, THE WATERLINES SHALL BE LOWERED DURING CONSTRUCTION. A MINIMUM OF 18 INCH VERTICAL AND 10 FEET HORIZONTAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE WATERLINE AND OUTSIDE EDGE OF THE SANITARY/ STORM SEWER CONDUIT AND STRUCTURES.

NO SERVICE LINE SHALL BE TAPPED NEARER THAN 10 FEET FROM THE END OF THE MAIN.

WATERLINES SHALL BE CONSTRUCTED TO MAINTAIN A MINIMUM OF 4.5 FEET AND A MAXIMUM OF 6.0 FEET OF COVER FROM TOP OF PIPE TO FINAL GROUND LINE, UNLESS OTHERWISE APPROVED BY THE UTILITIES SUPERINTENDENT.

THE OPERATION OF ALL IN-SERVICE VALVES SHALL BE BY WATER DEPARTMENT PERSONNEL ONLY. A 24-HOUR NOTICE SHALL BE GIVEN TO REQUEST SHUT DOWNS FOR TIE-INS.

ALL WATERLINE MATERIALS SHALL BE AWWA APPROVED.

WATER IS NOT TO BE TURNED ON WITHOUT PROPER BACKFLOW PREVENTION OR BEFORE METER INSTALLATION. IMMEDIATELY NOTIFY WATER OFFICE ONCE METER/REMOTE READER IS SET AND READY FOR WATER TO BE TURNED ON AND INSPECTED.

THERE SHALL BE BUT ONE STRUCTURE ON EACH METER. BUILDINGS THAT HAVE MULTIPLE WATER METERS ARE REQUIRED TO HAVE A PRIVATE STOP AND OR LOCK/STOP ON THE MAIN SIDE OF EACH METER AND A DUAL CHECK VALVE AFTER EACH METER WITH PROPERLY SIZED THERMAL EXPANSION TANK BETWEEN THE DUAL CHECK AND WATER HEATER.

THE WATER DISTRIBUTION DEPARTMENT IS TO BE CONTACTED AND MUST BE PRESENT WHEN WATER LINES ARE FILLED AND/OR FLUSHED. NO MORE THAN ONE 2 1/2" OUTLET ON ONE HYDRANT IS TO BE OPENED AT A TIME WHEN FLUSHING. ALL VALVES ARE TO BE OPERATED BY WATER DISTRIBUTION PERSONNEL ONLY.

UTILITIES:

THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE AS OBTAINED FROM THE OWNERS OF UTILITIES AS REQUIRED BY SECTION 153.64 ORC. LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THEIR EXACT LOCATION AND ELEVATION WHEN WORKING IN THEIR VICINITY.

WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER SUCH UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT THE EXACT ELEVATION MAY BE DETERMINED AND THE NECESSARY ADJUSTMENTS MADE. COST OF THE ABOVE, IF ANY, WILL BE INCLUDED IN THE PRICE BID FOR THE PERTINENT ITEM.

LOCATION, SUPPORT, PROTECTION AND RESTORATION OF ALL UTILITY LINES, SERVICES AND APPURTENANCES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF THIS WORK SHALL BE INCLUDED WITH THE PRICE BID FOR THE PERTINENT ITEM, UNLESS OTHERWISE NOTED ON THE PLANS.

THE CONTRACTOR SHALL CAUSE NOTICE TO BE GIVEN TO THE OHIO UTILITIES PROTECTION SERVICE (PHONE 800-362-2764 TOLL FREE) AND TO THE OWNERS OF THE UTILITY FACILITIES SHOWN ON THE PLAN WHO ARE NOT MEMBERS OF A REGISTERED UNDERGROUND PROTECTION SERVICE IN ACCORDANCE WITH SECTION 153.64 OF THE REVISED CODE. THE ABOVE MENTIONED NOTICE SHALL BE GIVEN AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION WITH THE EXCEPTION FOR TEPCCO WHO SHALL BE NOTIFIED THREE DAYS IN ADVANCE BEFORE BEGINNING EXCAVATION OR EQUIPMENT MOVEMENT WITHIN THEIR RIGHT-OF-WAY. NO TRENCHING, BORING, OR PLOWING EQUIPMENT WITHIN TEPCCO RIGHT-OF-WAY SHALL BE PERMITTED WITHOUT A TEPCCO REPRESENTATIVE ON SITE.

A PRECONSTRUCTION MEETING MUST BE HELD PRIOR TO THE START OF ANY CONSTRUCTION.

CONTRACTOR MUST NOTIFY UTILITIES DEPARTMENT 48 HOURS PRIOR TO CONNECTING TO THE WATER OR SEWER SYSTEM.

LISTED BELOW ARE ALL THE UTILITIES LOCATED WITHIN THE PROJECT CONSTRUCTION LIMITS TOGETHER WITH THEIR RESPECTIVE OWNERS.

CITY OF JOHNSTOWN WATER & SEWER SERVICE DEPARTMENT JACK LIGGETT CITY OF JOHNSTOWN STORMWATER UTILITY, SERVICE DEPARTMENT JACK LIGGETT

ENERGY CO-OP 1500 GRANVILLE RD NEWARK, OH 43055 740-641-8751; ATTN: WILL POLING- wpoling@theenergycoop.com AMERICAN ELECTRIC POWER (DISTRIBUTION) 777 HOPEWELL DR HEATH, OH 43056 740-294-3631 ATTN: BILL BAILEY- rwbailey@aep.com

COLUMBIA GAS OF OHIO 2429 LINDEN AVE ZANESVILLE, OH 43701 740-258-0701 ATTN: REAGAN RICHARDSON- reaganrichardson@isource.com AMERICAN ELECTRIC POWER (TRANSMISSION) 700 MORRISON RD GAHANNA, OH 43230 614-883-6831 ATTN: PAUL PAXTON- ptpaxton@aep.com

CHARTER COMMUNICATIONS 737 HOWARD STREET ZANESVILLE, OH 43701 614-496-3869 ATTN: CALEB CHAMPER- caleb.champer@charter.com EVERSTREAM (COMMUNICATIONS) 240 NORTH 5TH STREET, SUITE 168 COLUMBUS, OH 43215 ATTN: SUBHI SALEH- ssaleh@everstream.net 614-558-7002 ATTN: KANN KHAY- kkhay@everstream.com 614-354-7666

WINDSTREAM COMMUNICATION 776 HOPEWELL DRIVE HEATH, OH 43056 ATTN: ASH RAI- ash.rai@windstream.com 402-506-2257 405-321-0232 ATTN: TROY KENILY- troykenily@windstream.com 740-562-7685 CROWN CASTLE (COMMUNICATIONS) 2 EASTON OVAL COLUMBUS, OH 43219 ATTN: JOE TEPPER- joseph.tepper@crowncastle.com 585-445-5879 614-230-5765

ADVANCED COMMUNICATIONS & DATA (ACD) 1800 NORTH GRAND RIVER AVENUE LANSING, MI 48906 ATTN: SHIRLEY YOHNKA-yohnka.shirley@acd.net

HORIZON (COMMUNICATIONS) 1123 GOODALE BOULEVARD, SUITE 550 COLUMBUS, OH 43212 740-215-9066 ATTN: WALTER MARTIN- walter.martin@horizonconnects.com

DRAINAGE

ALL STORM SEWER, CULVERTS, HEADWALLS, CURB INLETS, MANHOLES, METHODS OF CONSTRUCTION, AND WORKMANSHIP FOR DRAINAGE AND APPURTENANCES SHOWN ON THESE PLANS SHALL CONFORM TO THE RULES AND REGULATIONS OF THE CITY OF NEWARK AND ODOT ITEMS 602, 603, & 604 CURRENT ON THE DATE OF CONTRACT UNLESS THE REQUIREMENTS OF SUCH RULES AND REGULATIONS ARE UPGRADED BY THE FOLLOWING NOTES OR BY THE CONSTRUCTION DETAILS SET FORTH HEREIN.

THE FLOW IN ALL SEWERS, DRAINS AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS OWN EXPENSE, AND WHENEVER SUCH WATERCOURSES AND DRAINS ARE DISTURBED OR DESTROYED DURING THE PROSECUTION OF THE WORK, THEY SHALL BE RESTORED BY THE CONTRACTOR AT HIS OWN EXPENSE TO A CONDITION SATISFACTORY TO THE CITY OF NEWARK.

MATERIALS

ALL STORM SEWERS AND CULVERTS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.

STORM SEWERS SHALL BE REINFORCED CONCRETE (706.02) OR HDPE (707.33) IN ACCORDANCE WITH ODOT ITEM 603, TYPE B-F (DEPENDING ON LOCATION) WITH A MINIMUM SIZE OF 12".

STORM MANHOLES AND INLETS SHALL BE IN ACCORDANCE WITH THE CITY OF NEWARK STANDARD DRAWINGS AND INSTALLED AS PER ODOT ITEM 604. INLETS ON STREETS WITH A PROPOSED GRADE SLOPE GREATER THAN 2% SHALL HAVE VANE GRATES INSTALLED.

ALL CATCH BASINS, MANHOLES, AND CURB INLETS SHALL HAVE CONCRETE CHANNELS POURED IN PLACE TO ASSURE POSITIVE DRAINAGE THROUGH THESE STRUCTURES.

BACKFILL

ALL BACKFILL FOR STORM SEWERS AND CULVERTS UNDER PAVEMENT AND WITHIN 5 FEET OF THE PAVEMENT SHALL BE COMPACTED GRANULAR MATERIAL FOR THE ENTIRE TRENCH DEPTH OR BOTTOM OF SUBBASE. ALL OTHER BACKFILL AND BEDDING SHALL BE AS PER ODOT ITEM 603 TYPE C. PAYMENT FOR THIS WORK AND MATERIAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR FURNISHING AND INSTALLING THE CONDUIT.

SPECIFICATIONS:

CITY OF NEWARK CONSTRUCTION AND MATERIALS SPECIFICATIONS, DATED AUGUST 1, 1990, ALONG WITH THE 2013 VERSION OF THE OHIO DEPARTMENT OF TRANSPORTATION CMS AND CITY OF JOHNSTOWN CONSTRUCTION AND MATERIAL SPECIFICATIONS LATEST EDITION SHALL GOVERN THIS PROJECT.

THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES AT LEAST 48 HOURS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION.

CITY OF JOHNSTOWN ENGINEER: WATER DEPARTMENT/SEWER: STORM WATER DEPARTMENT:

SAFETY REQUIREMENTS:

THE CONTRACTOR AND ALL SUB-CONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PEOPLE (INCLUDING EMPLOYEES) AND PROPERTY. IT IS ALSO THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.

MAINTENANCE OF TRAFFIC:

NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL OCCUR WITHOUT A USE OF THE PUBLIC RIGHT-OF-WAY PERMIT APPROVED BY THE CITY ENGINEER AND CITY SERVICE DIRECTOR. THE PERMIT SHALL BE SUBMITTED NO LATER THAN FOUR (4) WEEKS FROM THE START DATE OF WORK WITHIN THE RIGHT OF WAY. IF ANY PORTION OF THE ROADWAY WILL BE RESTRICTED, THE CONTRACTOR SHALL DISCLOSE THIS ON THE PERMIT, AND SHALL BE RESPONSIBLE FOR SUBMITTING A MAINTENANCE OF TRAFFIC PLAN APPROVED BY THE CITY ENGINEER. THE CONTRACTOR SHALL THEN PROVIDE THE CITY AT LEAST TWO (2) WEEKS NOTICE FOR ANY ROAD CLOSURES AND THREE (3) WORK DAYS NOTICE FOR ANY LANE RESTRICTIONS WHERE TWO-WAY TRAFFIC WILL BE MAINTAINED.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN TRAFFIC WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL ERECT, MAINTAIN, AND REMOVE THE NECESSARY TRAFFIC CONTROL DEVICES, BARRICADES, FLAGMEN, LIGHTS, ETC., TO SAFELY MAINTAIN TRAFFIC AROUND HIS OPERATIONS. ALL WORK AND TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH SECTION 614 OF THE LATEST EDITION OF THE ODOT CONSTRUCTION AND MATERIAL SPECIFICATIONS AND OTHER APPLICABLE PORTIONS OF THE SPECIFICATIONS, AS WELL AS THE LATEST EDITION OF THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AND RELEVANT ODOT STANDARD CONSTRUCTION DRAWINGS. IF THE CONTRACTOR FAILS TO COMPLY WITH THESE PROVISIONS, THE CITY ENGINEER SHALL SUSPEND WORK UNTIL THE REQUIREMENTS ARE MET.

TRAFFIC CONTROL:

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN TRAFFIC WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL ERECT, MAINTAIN AND REMOVE THE NECESSARY TRAFFIC CONTROL DEVICES, BARRICADES, FLAGMEN, AND LIGHTS TO SAFELY MAINTAIN TRAFFIC AROUND HIS OPERATIONS. TRAFFIC SHALL BE MAINTAINED IN ACCORDANCE WITH THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND THE CITY OF NEWARK'S TRAFFIC CONTROL FOR CONSTRUCTION AND MAINTENANCE OPERATIONS.

IN NO CASE SHALL THE STIPULATIONS OF THESE TRAFFIC CONTROL NOTES WAIVE THE REQUIREMENTS OF EITHER THE CONSTRUCTION AND MATERIAL SPECIFICATIONS OR THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

CROSSINGS AND CONNECTIONS TO EXISTING PIPES AND UTILITIES:

IF PLANS PROVIDE FOR A PROPOSED CONDUIT TO BE CONNECTED TO, OR CROSS OVER OR UNDER AN EXISTING SEWER OR UNDERGROUND UTILITY, AND A CONFLICT ARISES, BOTH AS TO LINE AND GRADE PROCEED AS FOLLOWS:

IF IT IS DETERMINED THAT THE PROPOSED CONDUIT WILL INTERSECT AN EXISTING SEWER OR UNDERGROUND UTILITY, IF CONSTRUCTED AS SHOWN IN THE PLAN, THE ENGINEER SHALL BE NOTIFIED BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THE PROPOSED CONDUIT WHICH WOULD BE AFFECTED BY THE INTERFERENCE WITH AN EXISTING FACILITY.

PAYMENT FOR ALL OPERATIONS DESCRIBED ABOVE SHALL BE INCLUDED IN THE CONTRACT PRICE FOR THE PERTINENT 603 CONDUIT ITEM.

GENERAL:

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND PAY ALL INSPECTION FEES. ALL CONSTRUCTION STAKING REQUIRED FOR THIS PROJECT SHALL BE PERFORMED BY OR AT THE DIRECTION OF AN OHIO REGISTERED PROFESSIONAL SURVEYOR OR ENGINEER.

ALL ADJOINING PROPERTIES DISTURBED DURING CONSTRUCTION OPERATIONS SHALL BE RESTORED TO THE SAME OR BETTER CONDITION. THIS INCLUDES GRADING, SEEDING AND REMOVAL OF EXCESS MATERIALS.

THE CONTRACTOR SHALL CLEAN ALL MUD, DIRT, DEBRIS, ETC. FROM THE PUBLIC RIGHT OF WAY LEFT AS A RESULT OF WORK ON THIS PROJECT DAILY.

GRANULAR BACKFILL SHALL BE TAMPED WITH A VIBRATORY COMPACTOR IN 12" LAYERS (MAXIMUM)

#57 STONE BEDDING AND BACKFILL SHALL BE USED FROM 6" BELOW THE PIPE TO A MINIMUM OF 1' ABOVE THE PIPE. THE REMAINDER OF THE BACKFILL SHALL BE APPROVED BY THE CITY AND THIS APPLIES TO STORM AND SANITARY. TRENCHES UNDER PAVEMENT, DRIVES, CURBS AND WALKS SHALL HAVE COMPACTED GRANULAR BACKFILL (CGB) (304) FULL DEPTH. FOR ANY REPLACEMENT OR REMOVAL OF WATERLINES, THE BACKFILL SHALL BE IN ACCORDANCE WITH THE CITY OF NEWARK SPECIFICATIONS.

IRON PINS MARKING PROPERTY LINES/CORNERS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED BY A REGISTERED SURVEYOR.

THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT OR THE EXISTING RIGHT-OF-WAYS, CONSTRUCTION AND/OR PERMANENT EASEMENTS AND SHALL NOT TRESPASS UPON OTHER PRIVATE PROPERTY WITHOUT THE WRITTEN CONSENT OF THE OWNER.

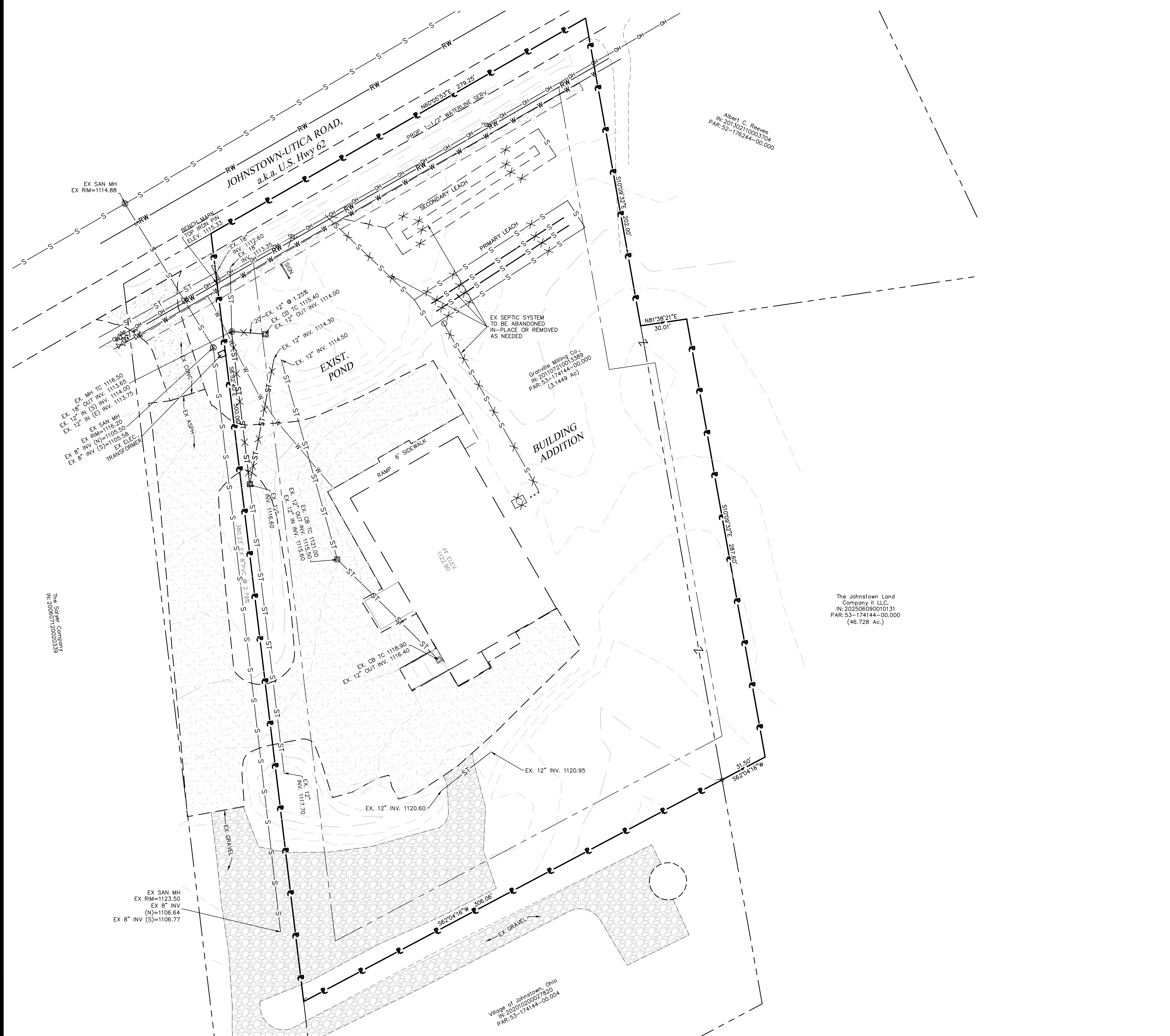
THE CONTRACTOR IS HEREBY NOTIFIED THAT HE/SHE SHALL BE RESPONSIBLE FOR CLEANING OF STREETS OR ANY MUD, DIRT, SAND, GRAVEL, STONES, OF ANY KIND OF MATERIAL THAT HAVE DEPOSITED AS A RESULT OF HIS/HER OR SUB-CONTRACTOR'S OPERATIONS. PAVEMENTS SHALL BE CLEANED AT THE END OF EACH WORK DAY OR MORE OFTEN AS DETERMINED BY THE CITY ENGINEER OR HIS REPRESENTATIVE.

THE CONTRACTOR IS ADVISED THAT HIS WORK WILL BE IN PROXIMITY TO OCCUPIED RESIDENCES. THEREFORE, IT IS EXPECTED THE CONTRACTOR WILL PERFORM HIS/HER EARTH-WORK OPERATIONS TO MINIMIZE DUST. WHEN CONDITIONS ARE SUCH THAT BECOMES A MAJOR PROBLEM, THE CONTRACTOR IS ADVISED TO APPLY A DUST PALLIATIVE PER ITEM 616.

THE CONTRACTOR IS HEREBY NOTIFIED THAT PUBLIC RIGHT-OF-WAY AREAS, INCLUDING ROADSIDE DITCHES, DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL, OR BETTER CONDITION. IN ADDITION, ANY DEPOSITS OF SEDIMENT, SAND OR GRAVEL OR DIRT DEPOSITED UPON THE RIGHT-OF-WAY BY THE CONTRACTOR'S OPERATIONS SHALL BE REMOVED AT THE CONTRACTOR'S EXPENSE.

1/26/2026 4:30:25 pm bch 2/2/20 Job No. 25270 Job Name: 0103 - Johnstown Milling Building Addition - General Notes.dwg

1/26/2026 4:30:25 pm\back\25270\_1r\_11051\_johnstown-lic\johnstown\sheet\add\cond\existing\_conditions\_pln.dwg



### LEGEND

**EXISTING**

- 5/8" DIA. IRON PIN FOUND
- ⊙ 3/4" O.D. IRON PIPE FOUND
- RW — PUBLIC RIGHT OF WAY
- — — — — PROPERTY BOUNDARY
- — — — — PROPERTY SETBACK/BLDG LINE
- — — — — LOT LINE
- — — — — SECTION LINE
- — — — — LAND HOOK SYMBOL
- — — — — EASEMENT
- — — — — GAS LINE
- — — — — ELECTRIC LINES
- — — — — TELEPHONE/CABLE LINES
- — — — — TELEPHONE PEDESTAL
- — — — — UTILITY POLES
- — — — — LIGHT POLE
- — — — — EDGE OF DRIVE
- — — — — EDGE OF PAVEMENT
- STORM SEWER CATCH BASIN
- ⊙ STORM SEWER MANHOLE
- ST — STORM SEWER
- X — ST — STORM SEWER TO BE DEMO'D
- S — SANITARY SEWER
- X — S — SEPTIC SEWER TO BE DEMO'D
- — — — — MAJOR/INDEX CONTOUR
- — — — — MINOR/INTERVAL CONTOUR

### For Construction

ADDENDUMS		
ADDENDUM NO.	ADDENDUM DATE	ISSUED BY

**UNDERGROUND UTILITIES**

CONTACT SERVICE  
TWO WORKING DAYS  
**BEFORE YOU DIG**

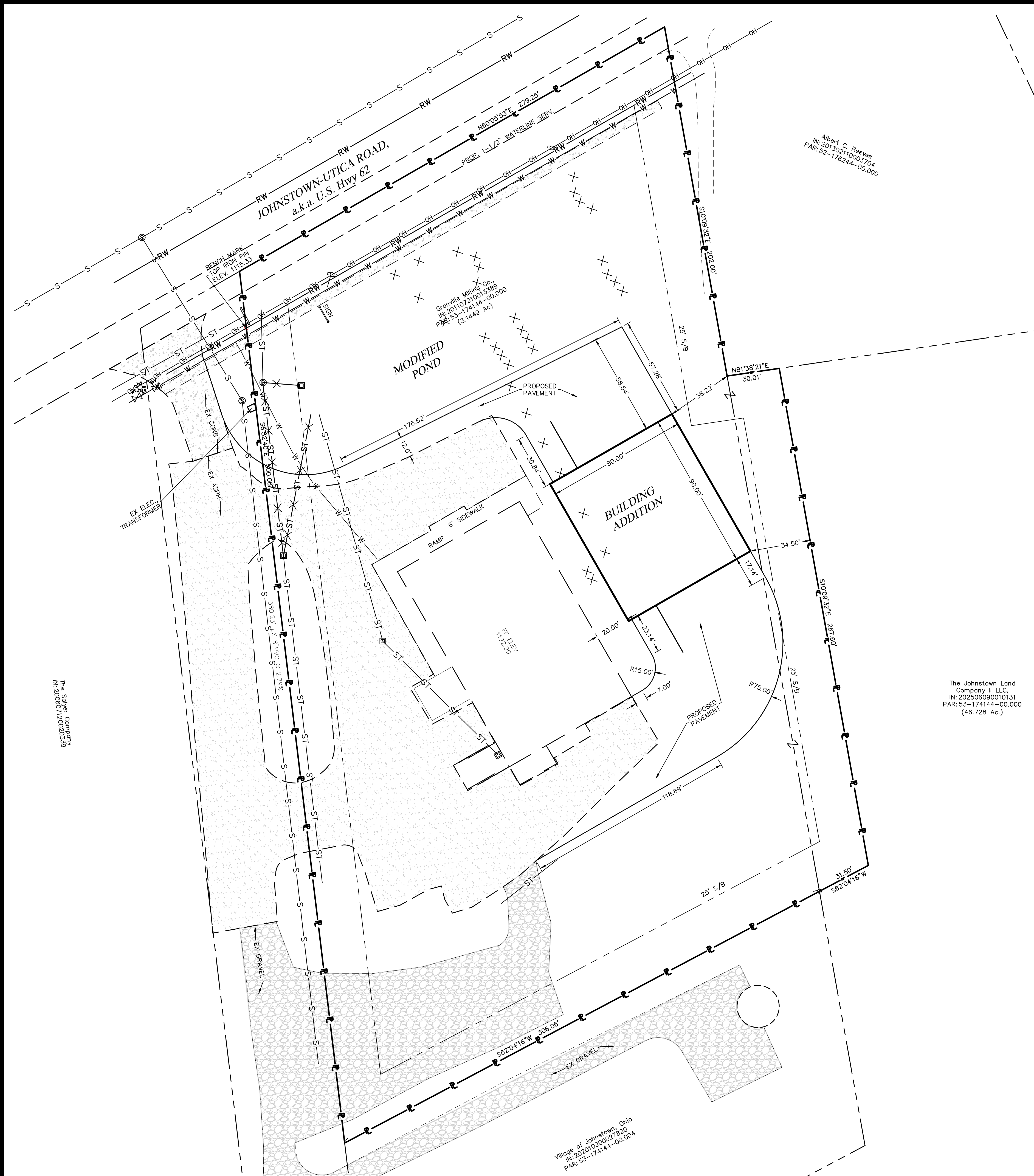
811 OR 1-800-362-2764  
(TOLL FREE)

BAR SCALE

( IN FEET )  
1 inch = 30 ft.

REVISIONS	
REV. NO.	DESCRIPTION

DRAWN	TW, LP
CHECKED	
Job No.	25270
CITY OF JOHNSTOWN, LICKING, OHIO	
<b>CONSTRUCTION PLANS</b>	
Project <b>GRANVILLE MILLING, BUILDING ADDITION</b>	
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12512 West Bank Drive Millersport, OH 43046 (740) 739-4030	
Sheet	3



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**For Construction**

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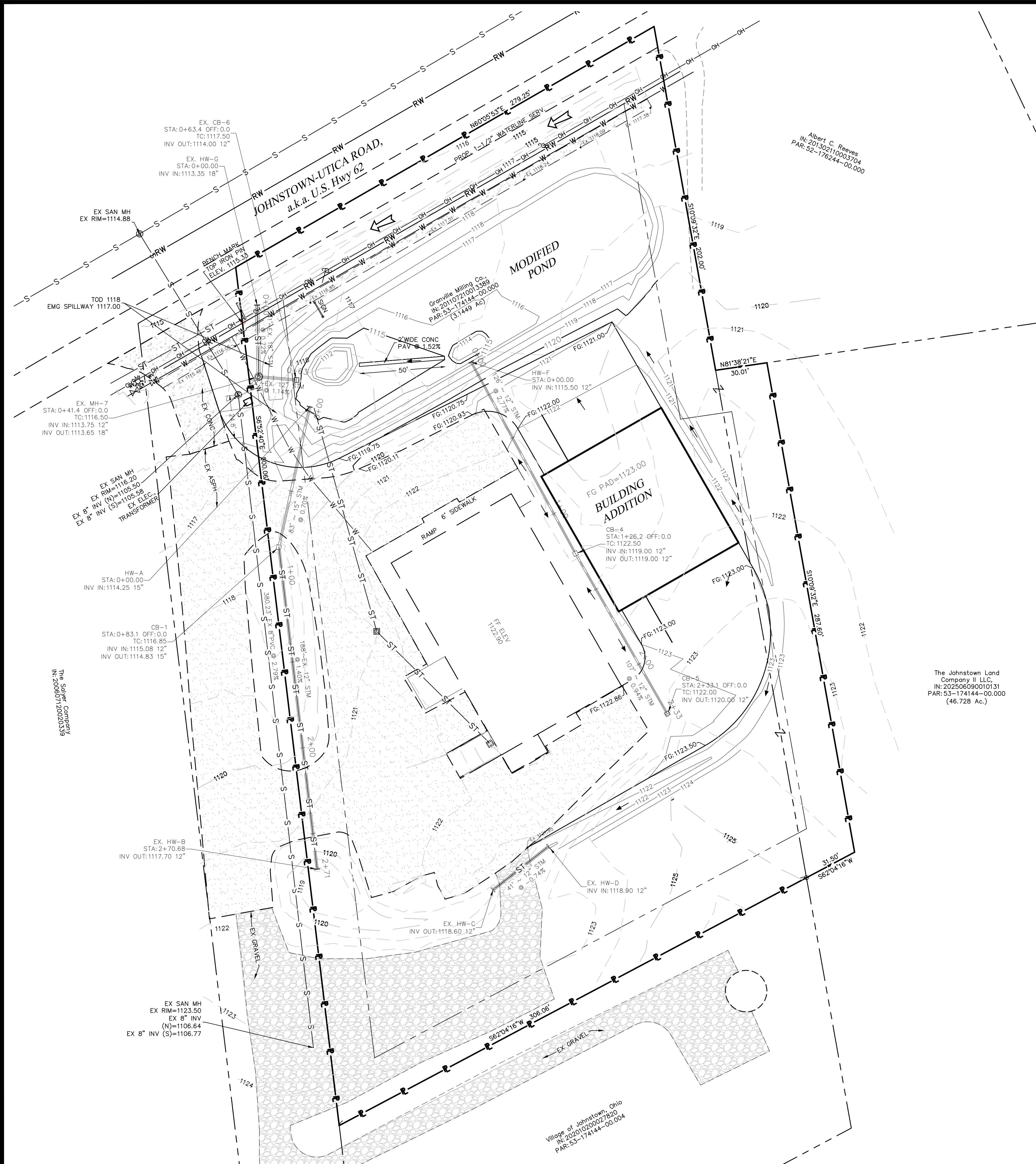
**UNDERGROUND UTILITIES**  
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 TWO WORKING DAYS  
**BEFORE YOU DIG**  
  
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BAR SCALE  
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REV. NO.	DESCRIPTION

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CITY OF JOHNSTOWN, LICKING, OHIO	
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Date: 1/26/2026	
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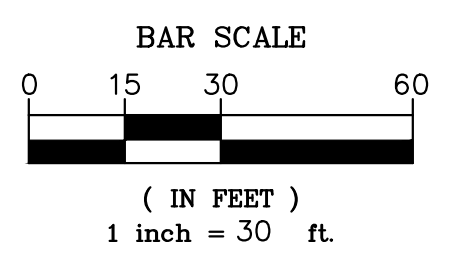
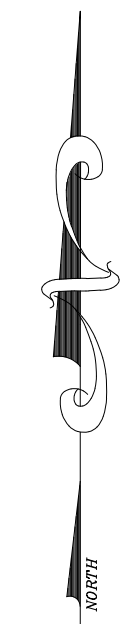
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**CONSTRUCTION PLANS**

Project **GRANVILLE MILLING, BUILDING ADDITION**

Sheet Name **GRADING PLAN**

**WILLIS ENGINEERING & SURVEYING**

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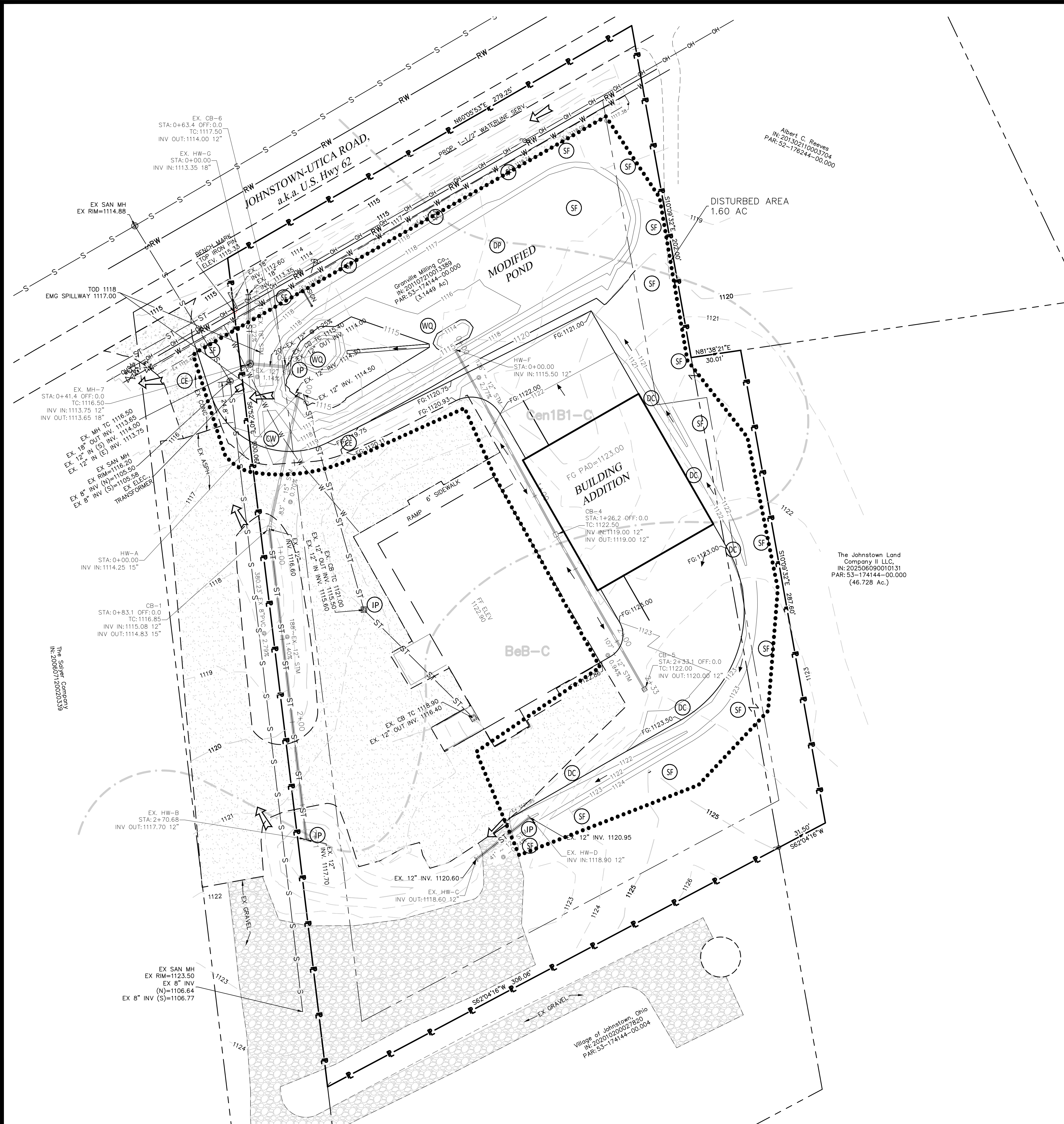
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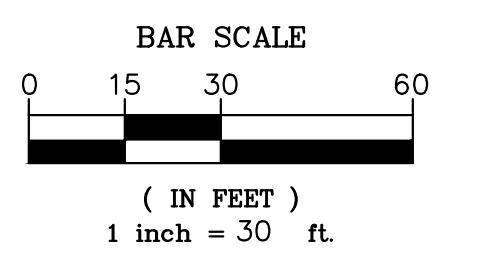
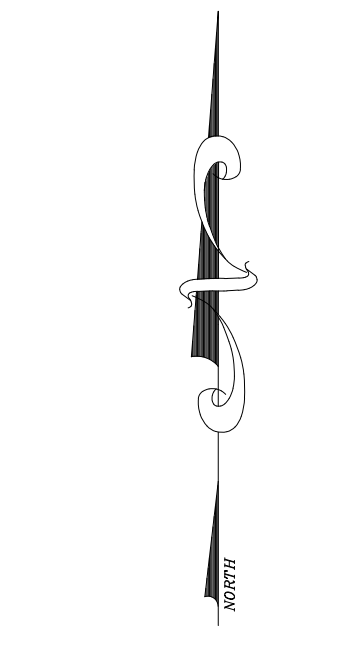
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○	3/4" O.D. IRON PIPE FOUND
— R/W —	PUBLIC RIGHT OF WAY
—	PROPERTY BOUNDARY
—	PROPERTY SETBACK/BLDG LINE
—	LOT LINE
— Z —	SECTION LINE
—	LAND HOOK SYMBOL
—	EASEMENT
— G —	GAS LINE
— E —	ELECTRIC LINES
— T —	TELEPHONE/CABLE LINES
—	TELEPHONE PEDESTAL
—	UTILITY POLES
—	LIGHT POLE
—	EDGE OF DRIVE
—	EDGE OF PAVEMENT
□	STORM SEWER CATCH BASIN
⊙	STORM SEWER MANHOLE
— ST —	STORM SEWER
—	MAJOR/INDEX CONTOUR
—	MINOR/INTERVAL CONTOUR
●	IRON PIN SET 5/8" DIA X 30" LENGTH REBAR, W ORG ID CAP
—	PROPERTY BOUNDARY
—	EDGE OF PARKING LOT
□	STORM SEWER CATCH BASIN
⊙	STORM SEWER MANHOLE
—	STORM SEWER MAIN
—	18" STM
—	ROOF DRAIN
→	DRAINAGE FLOW
→	FLOOD ROUTING FLOW
—	MAJOR/INDEX CONTOUR
—	MINOR/INTERVAL CONTOUR

SWPPP LEGEND	
→	DRAINAGE FLOW
→	FLOOD ROUTE FLOW
⊙	CONSTRUCTION ENTRANCE PROTECTION
⊙	SILT FENCE
⊙	STORM SEWER INLET PROTECTION
⊙	WATER QUALITY BASIN WITH SEDIMENT CONTROL
⊙	DETENTION POND
⊙	CONCRETE WASHOUT AREA
⊙	DITCH CHECK

**For Construction**

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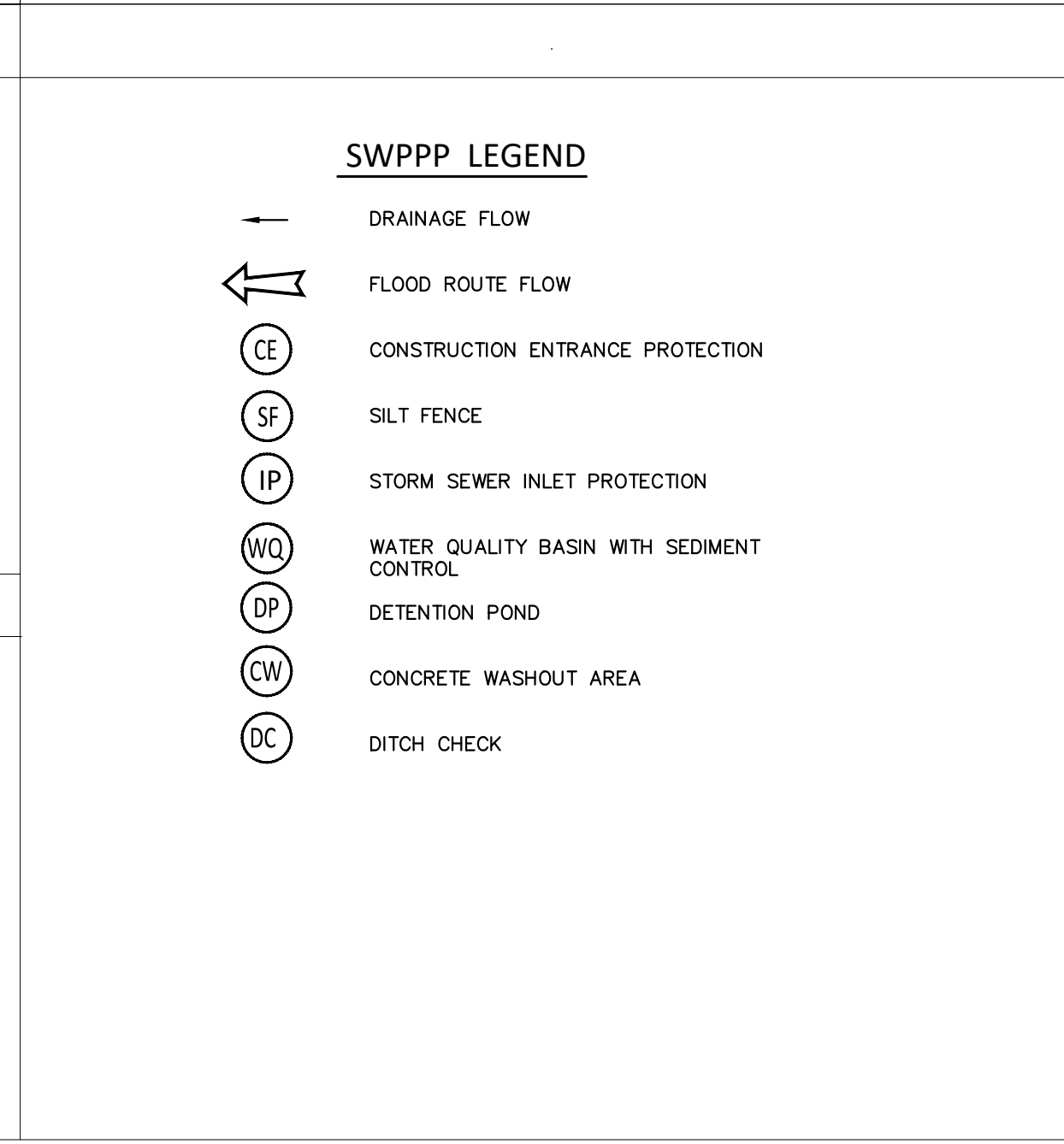
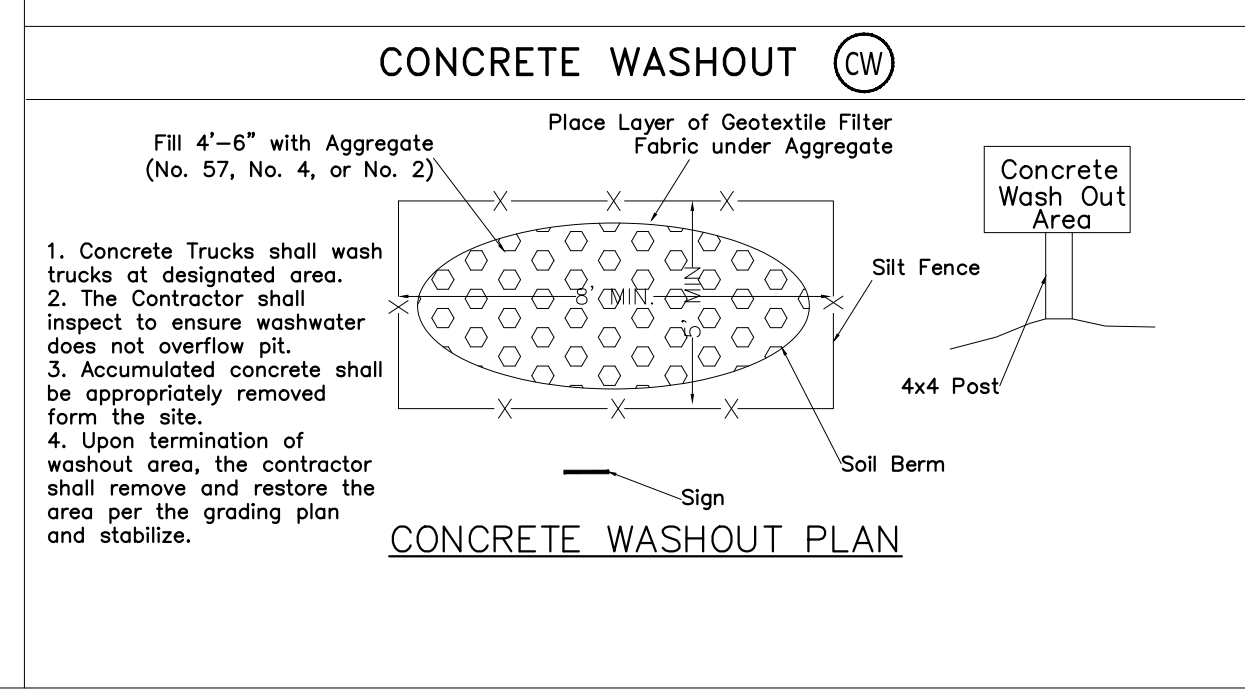
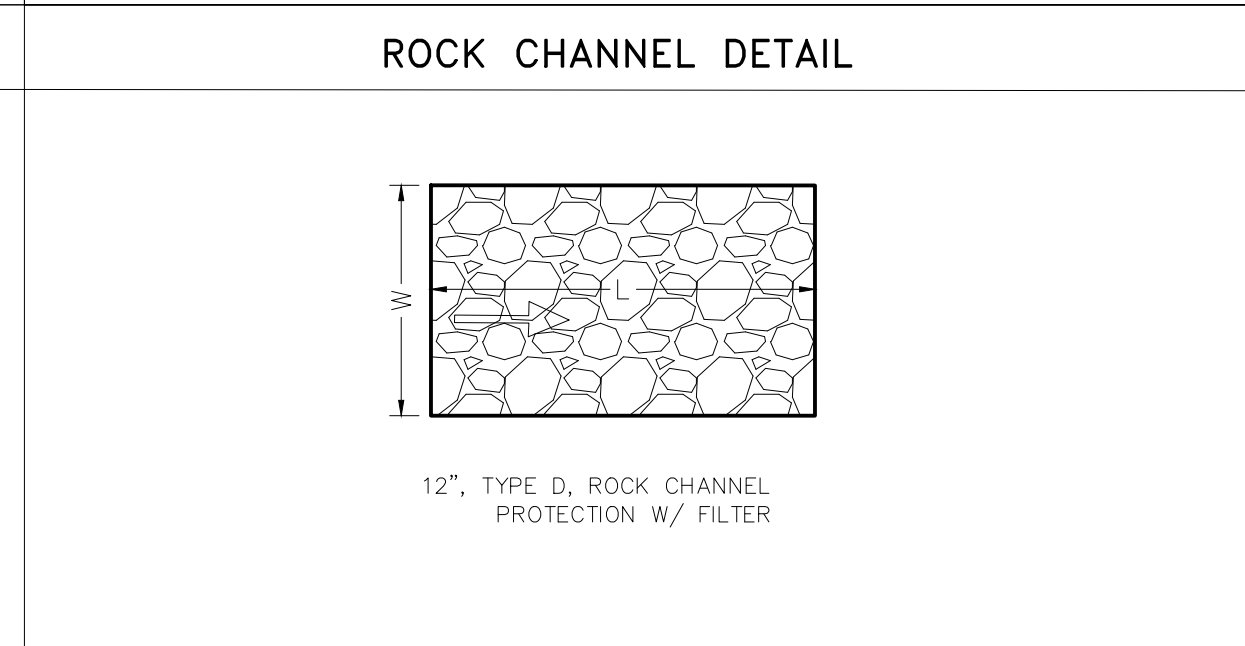
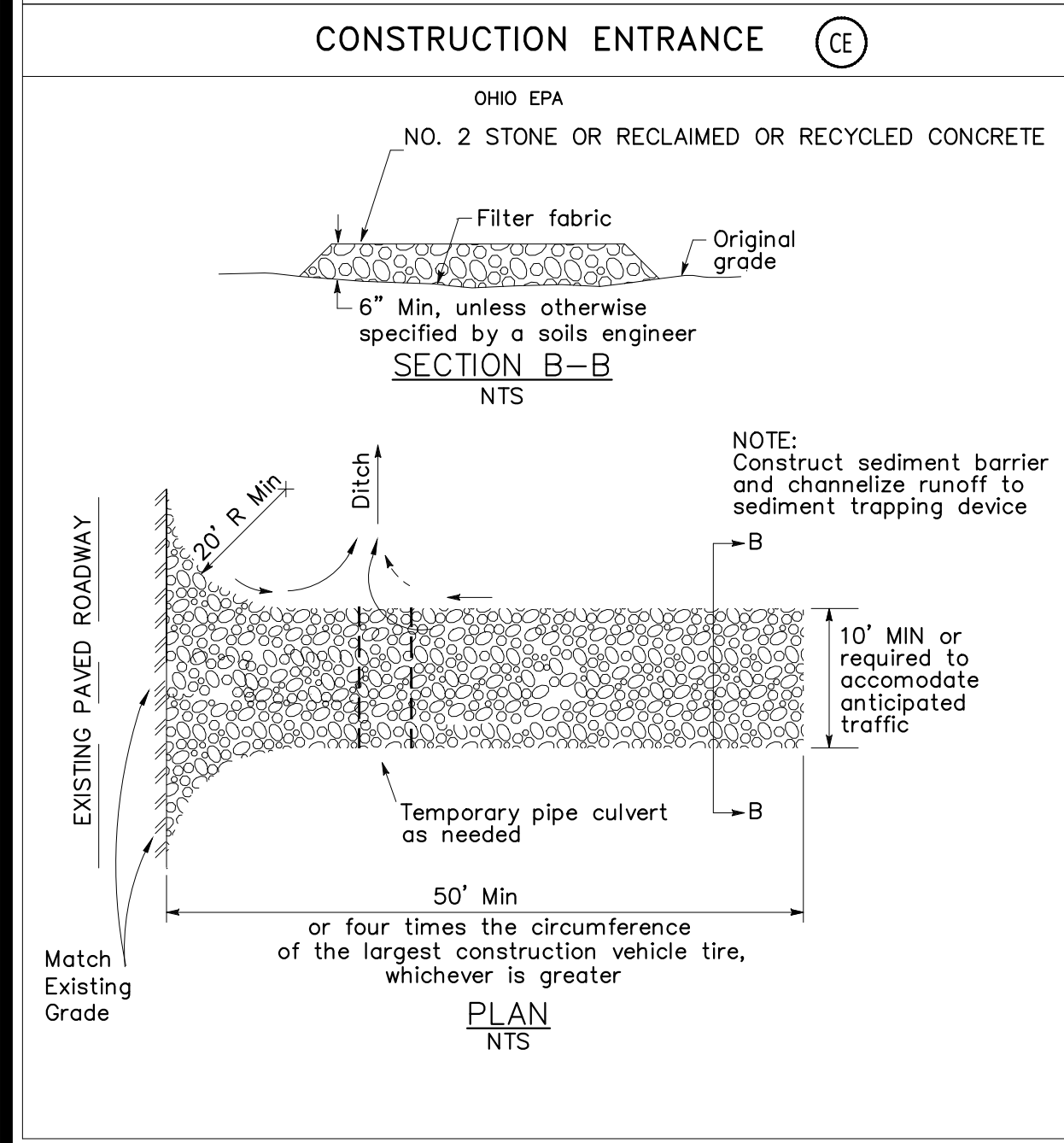
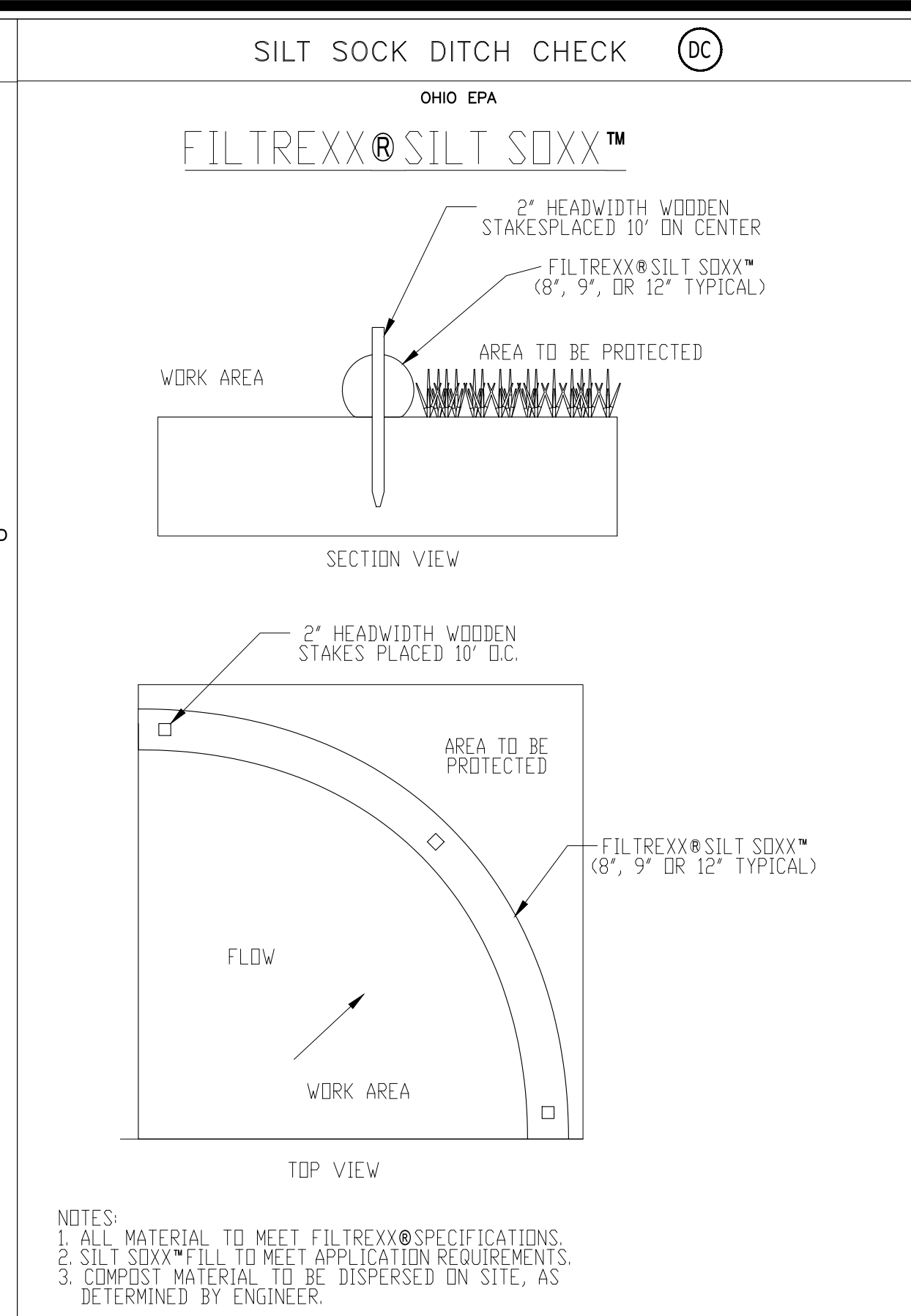
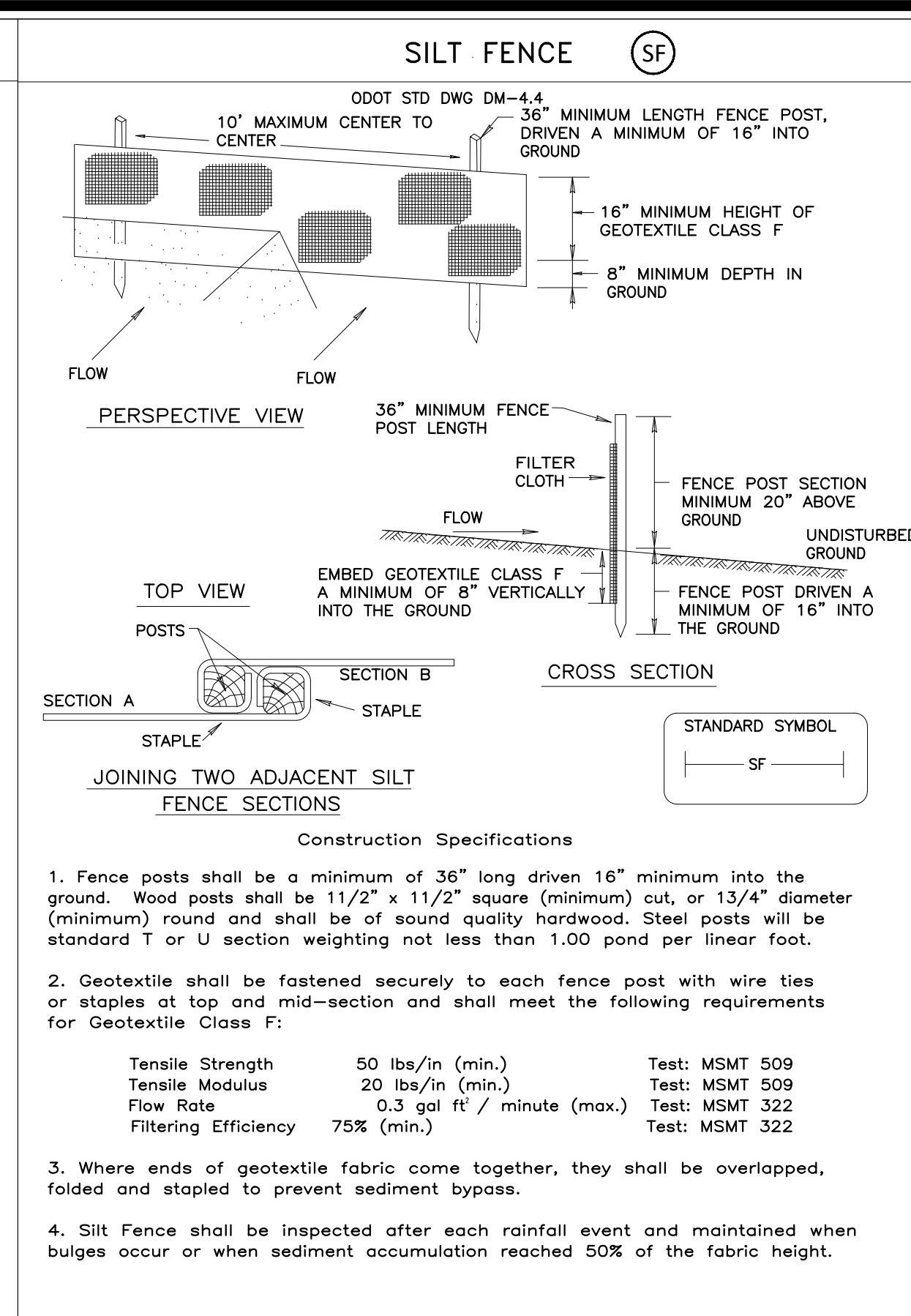
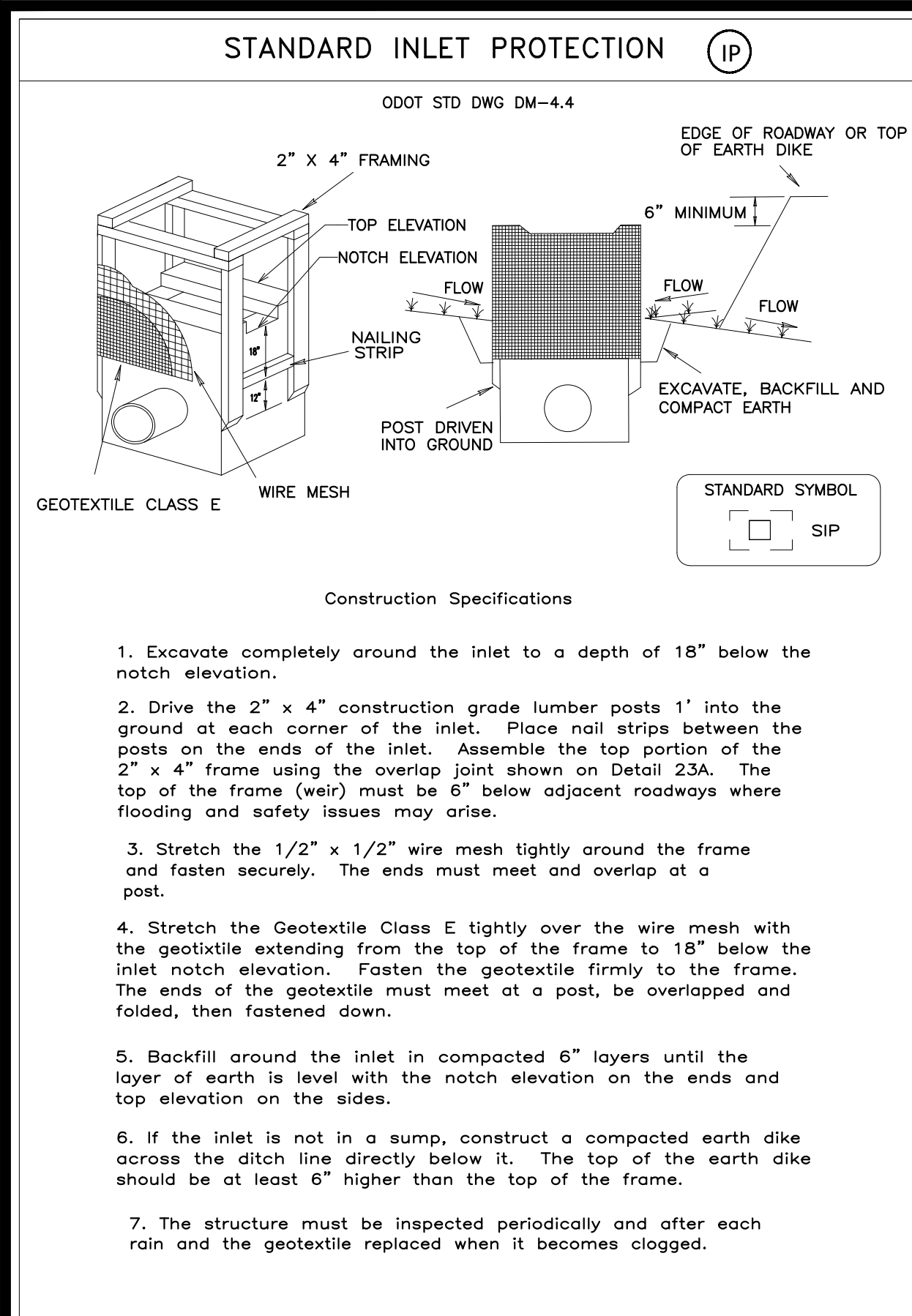
**UNDERGROUND UTILITIES**  
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REV. NO.	DESCRIPTION

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 Job No. 25270  
**CITY OF JOHNSTOWN, LICKING, OHIO**  
**CONSTRUCTION PLANS**  
 Project **GRANVILLE MILLING, BUILDING ADDITION**  
 Sheet Name **SWPPP PLAN**  
**WILLIS ENGINEERING & SURVEYING**  
 Date: 1/26/2026  
 Scale: 1"=30' HORZ.  
 1"=5' VERT.  
  
 12512 West Bank Drive  
 Millersport, OH 43046  
 (740) 739-4030  
 Sheet **8**

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**Soil Stabilization.** Stabilization of disturbed areas shall, at a minimum, be initiated in accordance with the time frames specified in the following tables.

**Table 1: Permanent Stabilization**

Area requiring permanent stabilization	Time frame to apply erosion controls
Any areas that will be dormant for one year or more	Within seven days of the most recent disturbance
Any areas within 50 feet of a surface water of the state and at final grade	Within two days of reaching final grade
Other areas at final grade	Within seven days of reaching final grade within that area

**Table 2: Temporary Stabilization**

Area requiring temporary stabilization	Time frame to apply erosion controls
Any disturbed areas within 50 feet of a surface water of the state and not at final grade	Within two days of the most recent disturbance if the area will remain idle for more than 14 days
Any disturbed areas that will be dormant for more than 14 days but less than one year, and not within 50 feet of a surface water of the state	Within seven days of the most recent disturbance within the area
Disturbed areas that will be idle over winter	Prior to the onset of winter weather

Where vegetative stabilization techniques may cause structural instability or are otherwise unobtainable, alternative stabilization techniques must be employed. Permanent and temporary stabilization are defined in Part VII.

WHERE VEGETATIVE STABILIZATION TECHNIQUES MAY CAUSE STRUCTURAL INSTABILITY OR ARE OTHERWISE UNOBTAINABLE, ALTERNATIVE STABILIZATION TECHNIQUES MUST BE EMPLOYED. PERMANENT AND TEMPORARY STABILIZATION IS DEFINED IN PART VII OF THE OHIO ENVIRONMENTAL PROTECTION AGENCY GENERAL PERMIT AUTHORIZATION FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM. GENERAL PERMIT NUMBER SOURCE: OHIO EPA GENERAL PERMIT NO. GH000006, PART II, SUBSECTION (B) ON PAGE 9 OF 60.

### SEDIMENT AND EROSION CONTROL NOTES

- SEDIMENT PONDS AND PERIMETER SEDIMENT CONTROLS SHALL BE IMPLEMENTED AS THE FIRST STEP OF GRADING AND WITHIN SEVEN DAYS FROM THE START OF GRUBBING AND SHALL CONTINUE TO FUNCTION UNTIL UPLAND AREAS ARE STABILIZED. DISTURBED AREAS WHICH WILL REMAIN UNWORKED FOR A PERIOD OF 21 DAYS OR GREATER SHALL BE STABILIZED WITH SEEDING AND MULCHING OR OTHER APPROPRIATE MEANS WITHIN FIVE DAYS.

### EROSION CONTROL CONSTRUCTION SEQUENCE

- THE CONTRACTOR SHALL INSTALL THE PERIMETER FILTER FENCE PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL STRIP THE TOP SOIL
- THE CONTRACTOR SHALL THEN EXCAVATE THE ROADWAY AND PARKING LOT TO ITS FINAL SUBGRADE AND GRADE ALL DITCHES TO THEIR FINAL ELEVATION. ALL CONDUIT SHALL THEN BE INSTALLED WITH ALL PERMANENT EROSION CONTROL MEASURES. THIS SHALL INCLUDE ALL DUMPED ROCK FILL, EROSION CONTROL MATTING AND FILTER FABRIC.
- CONTRACTOR SHALL THEN INSTALL DITCH CHECKS IN ALL DITCHES FOR EVERY 1.5 FEET OF FALL OR 100FT, WHICH EVER IS MORE OFTEN.
- PERMANENT SEEDING MUST TAKE PLACE NO MORE THAN 7 DAYS AFTER FINAL GRADING OF THE SITE. THE SEEDING SHALL BE IN ACCORDANCE WITH THE SEEDING SPECIFICATIONS ON THIS DRAWING. ALL SEEDING MUST BE ACCOMPANIED BY HYDROMULCH PLACED IN ACCORDANCE WITH THE CHART BELOW

### CONSTRUCTION ENTRANCE

- THE CONTRACTOR SHALL INSTALL A CONSTRUCTION ENTRANCE

### MAINTENANCE AND INSPECTION

- SILT FENCE - THE CONTRACTOR SHALL INSPECT ALL SILT FENCE AND SILT SOCKS AND SHALL REQUIRE THE REMOVAL OF BUILT-UP SEDIMENT AT THE BASE OF THE FENCE/SOCK WITHIN 3 DAYS OF INSPECTION DATE.
- DOCUMENTATION - THE CONTRACTOR WILL PREPARE DOCUMENTATION OF EACH INSPECTION UTILIZING THE OHIO EPA SWP3 CHECKLIST. DOCUMENTATION MUST BE MADE AVAILABLE TO JURISDICTIONAL AGENCIES WHEN REQUESTED. MOWING - THE SEEDED AREAS SHALL NOT BE MOWED LOWER THAN 2" UNTIL 90% OF THE AREA IS ESTABLISHED. IRRIGATION - IF SOIL MOISTURE IS DEFICIENT, AS DETERMINED BY THE DEVELOPER, THE CONTRACTOR SHALL APPLY WATER AT A RATE OF 5000 GAL/AC. TO THE SEEDED AREA. REPAIRS - THE DEVELOPER SHALL INSPECT ALL SEEDED AREAS FOR FAILURE AND ORDER

### EROSION CONTROL STANDARDS

- CUTS AND FILLS MAY NOT ENDANGER ADJOINING PROPERTY
- THE DEVELOPER AND CONTRACTOR NEED TO ESTABLISH A MAILBOX AT THE CONSTRUCTION ENTRANCE OR NEXT TO THE CONSTRUCTION TRAILER. SAID MAILBOX SHALL CONTAIN THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), ALL INSPECTION LOGS/REPORTS, AND THE OHIO ENVIRONMENTAL PROTECTION AGENCY (OEPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES), APPROVED NOTICE OF INTENT (NOI).
- SEDIMENTATION FACILITIES AND OTHER CONTROL MEASURES SHALL BE INSTALLED PER THE STORM WATER POLLUTION PREVENTION PLAN(SWPPP) IN CONJUNCTION WITH THE INITIAL GRADING OPERATIONS AND BE MAINTAINED THROUGHOUT THE DEVELOPMENT AND CONSTRUCTION PROCESS TO REMOVE SEDIMENT FROM THE RUNOFF WATERS DRAINING THE LAND UNDER DEVELOPMENT.
- TEMPORARY VEGETATION OR MULCHING SHALL BE EMPLOYED TO PROTECT EXPOSED CRITICAL AREAS (STEEP SLOPES) DURING DEVELOPMENT AS IDENTIFIED ON THE SWPPP OR BY THE CITY OF HEALTH ENGINEER (OR ENGINEER'S DESIGNEE). THESE MEASURES SHALL BE INSTALLED WITHIN 48 HOURS OF INITIAL DISTURBANCE.
- STRAW, MULCH, OR NETTING MATERIAL PROVISIONS MUST BE PROVIDED TO MINIMIZE DAMAGE FROM SURFACE WATER TO THE CUT FACE OF EXCAVATIONS OR THE SLOPING SURFACE OF FILLS WITHIN 48 HOURS OF INITIAL DISTURBANCE.

**For Construction**

ADDENDUMS

ADDENDUM NO.	ADDENDUM DATE	ISSUED BY

UNDERGROUND UTILITIES

CONTACT SERVICE TWO WORKING DAYS BEFORE YOU DIG

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REV. NO.	DESCRIPTION

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Job No. 25270

CITY OF JOHNSTOWN, LICKING, OHIO

**CONSTRUCTION PLANS**

Project GRANVILLE MILLING, BUILDING ADDITION

Sheet Name SWPPP DETAILS

WILLIS ENGINEERING & SURVEYING

Date: 1/26/2026  
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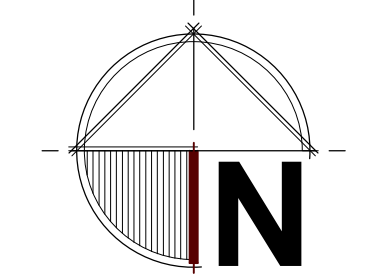
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WILLIS ENGINEERING & SURVEYING

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Millersport, OH 43046  
(740) 739-4030

Sheet 9

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<input type="checkbox"/>	DESIGN DEVELOPMENT SET
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<input type="checkbox"/>	BUILDING PERMIT SET
<input type="checkbox"/>	BID SET
<input type="checkbox"/>	RECORD "AS BUILT" SET

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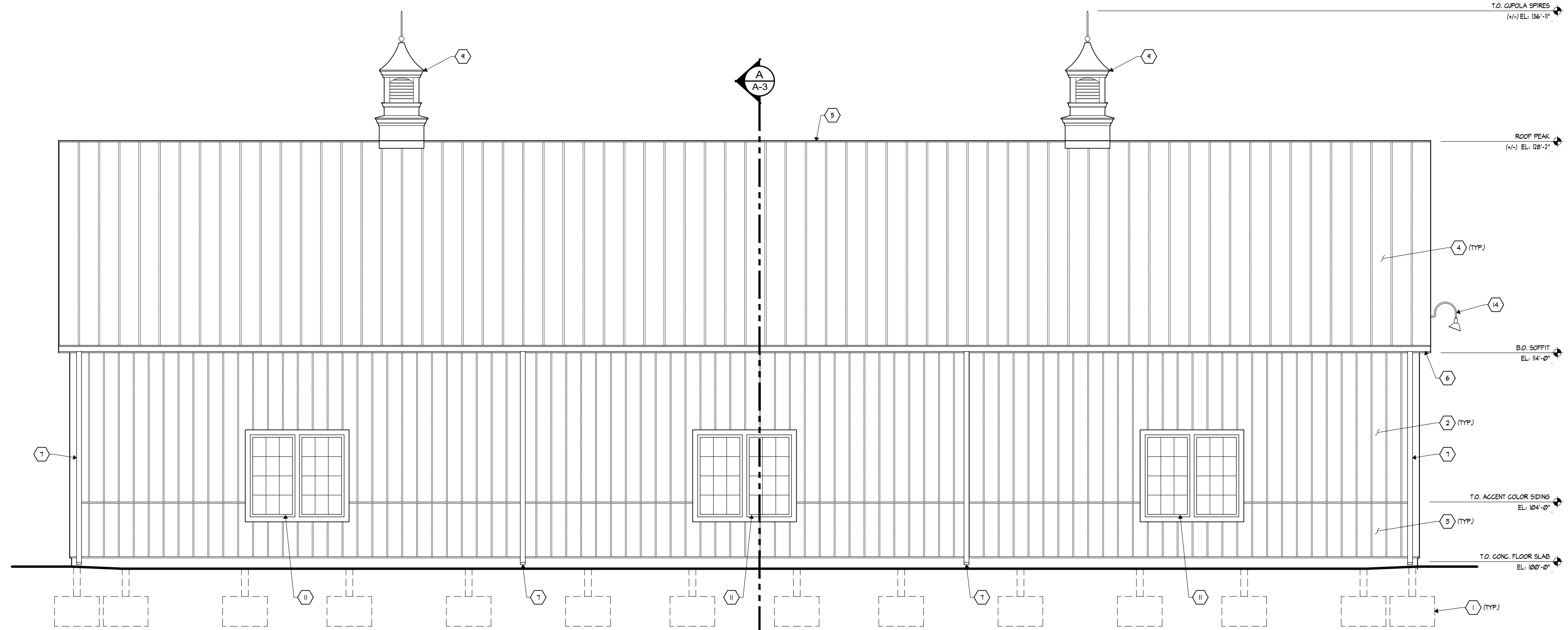
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OHIO NO. 11947

**GENERAL NOTES**

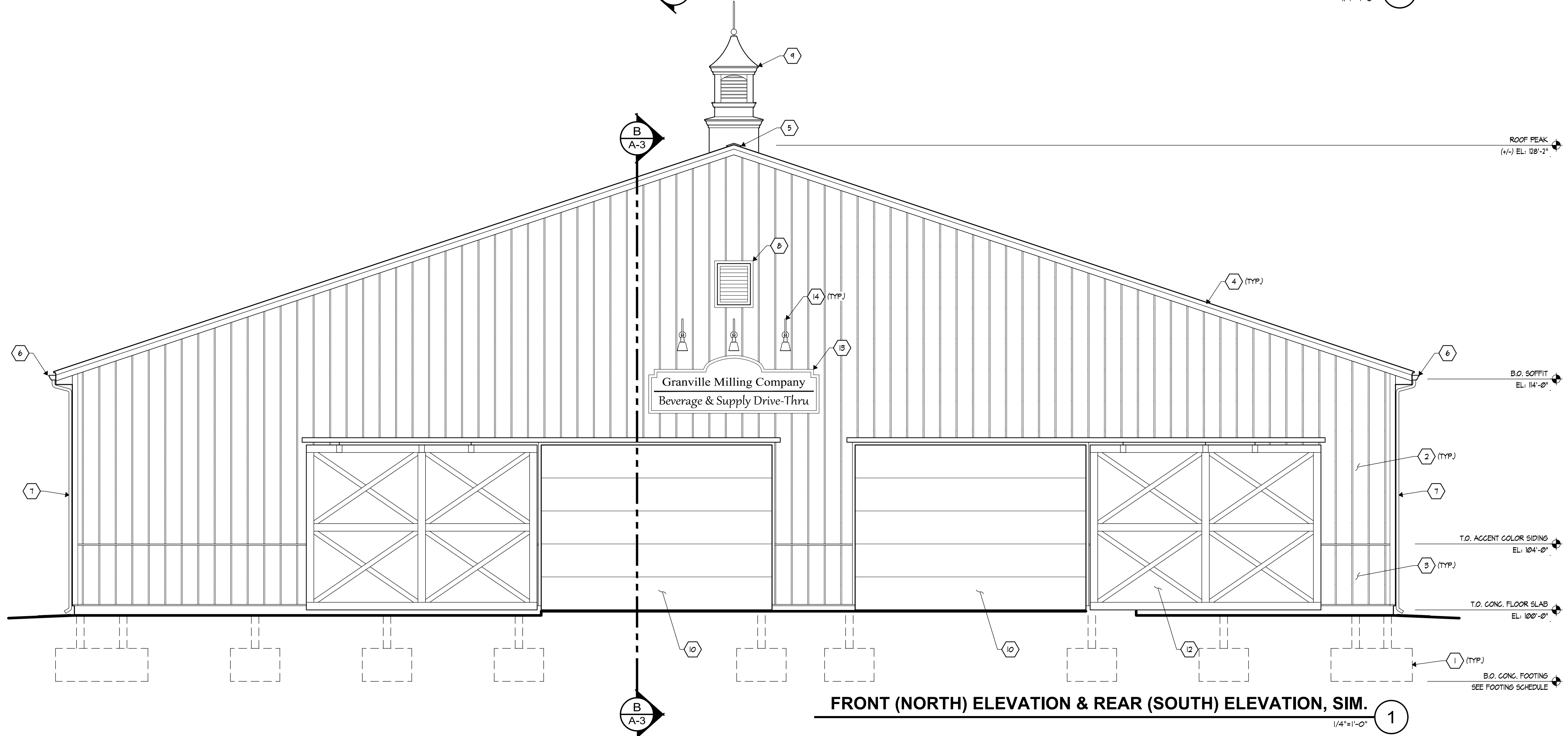
A. ALL FINISHES, TRIMS & ACCESSORIES SHALL MATCH THE COLORS & APPEARANCES OF THOSE AT THE ADJACENT 'COUNTRY STORE' BLDG. CONSULT OWNER ON ANY DESIRED CHANGES.

**CODED NOTES**

- BELOW-GRADE POST & CONC. FOOTING, SHOWN DASHED
- MTL. BOARD & BATTEN SIDING, FIELD COLOR
- MTL. BOARD & BATTEN SIDING, ACCENT COLOR
- STANDING SEAM METAL ROOFING
- CONT. RIDGE VENT
- PREFIN. MTL. OGEE GUTTER, 5" MIN.
- PREFIN. MTL. DOWNSPOUT, 2" x 3" MIN.
- GABLE END VENT, 24" W. x 30" H.
- PREFABRICATED CUOLA, 36" SQ. AT BASE
- OVERHEAD SECTIONAL DOOR, 14'-0" W. x 10'-0" H.
- FIXED WINDOW. SEE FLOOR PLAN.
- FIXED FAUX CEDAR BARN DOOR & RAIL
- BUILDING SIGNAGE
- GOOSENECK LIGHTING FIXTURE



**EAST (LEFT SIDE) ELEVATION & WEST (RIGHT SIDE) ELEVATION, SIM.** 1/4"=1'-0" (2)



**FRONT (NORTH) ELEVATION & REAR (SOUTH) ELEVATION, SIM.** 1/4"=1'-0" (1)

12. We are purposing adding an additional building on our property for drive thru feed and alcohol sales. The proposed additional building on our property will be similar in color, architecture, and finishes. The drive thru will have two lanes and be oriented north to south on the property. It will blend in well on our property and with the surrounding properties/landscape. The drive thru will utilize the same entrance. The activity associated with the drive thru will be lawful and not harmful/hazardous to the members of the Johnstown community. The current Johnstown public services, streets, fire, police, and schools will continue to support our business even with the additional building and drive thru. Essentially zero additional public services will be needed for the drive thru. Basically, we are adding the building to make pickup of our products easier for our current customers while adding the alcohol department for additional retail sales. The retail drive thru will not create fumes, odor, smoke, or noise. The glare and traffic from the vehicles entering and exiting the drive thru will be similar to current traffic and glare from our business, as we are rerouting many of our current customers though the drive thru for order pickups. There might be a minimal increase in traffic as we are adding an additional product line in alcohol sales. This might result in additional customers to our business. Primarily, we are hoping our existing customers will make additional alcohol purchases while they are already instore for feed, pet, wild bird, and supply purchases. We will continue to use the current entrance to our property. As such this additional building will not interfere with traffic on surrounding public streets or roads. This project and building will comply with all zoning regulations. This building will also not result in the destruction, loss, or damage of the natural, scenic, or historic features of our property or the surrounding area.

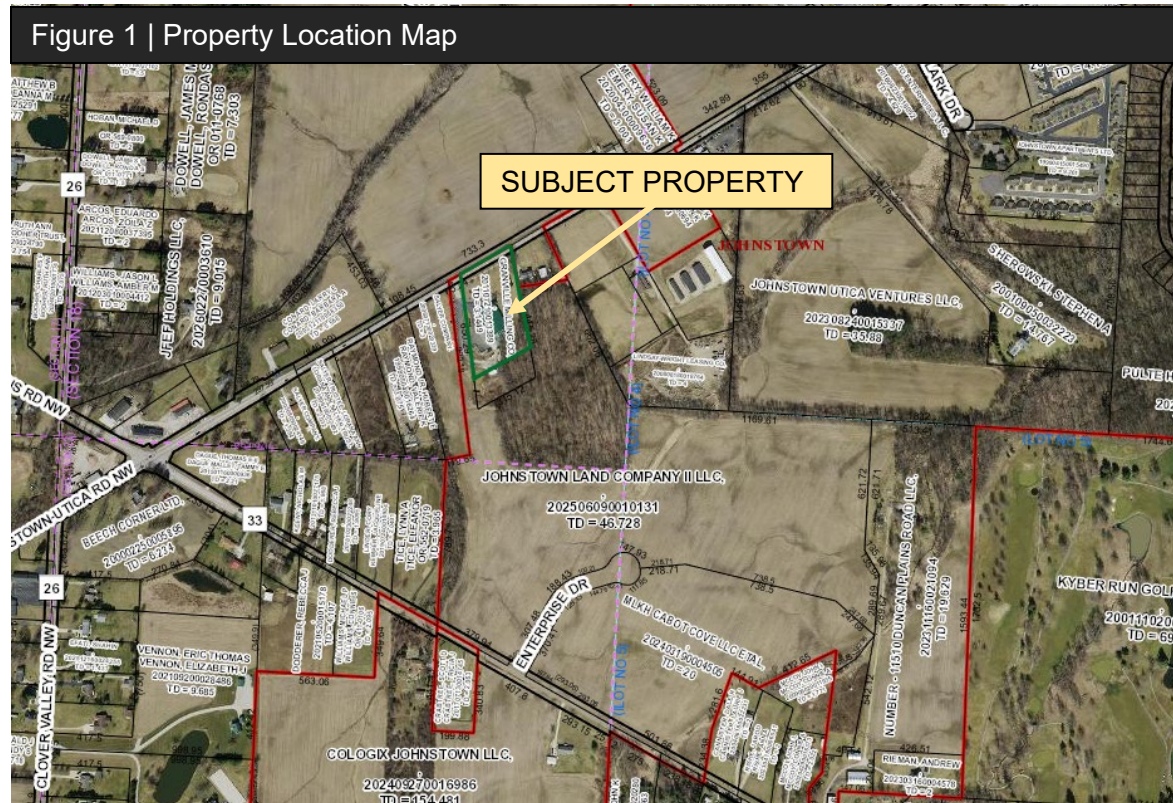
# PLANNING STAFF REPORT

APPLICATION X-XX-X | CONDITIONAL USE PERMIT

## INTRODUCTION

- To: Planning and Zoning Commission & City Council
- Reviewer: Chris Hermann, FAICP (MKSK)
- Applicant: Granville Milling Company, 11891 Johnstown-Utica Road
- Request: To build a 7,200 square foot additional building for drive-through feed and alcohol sales adjacent to the existing Granville Milling Co building. (Alcohol sales are a permitted use in GCC-2 District, but drive throughs are a conditional use.)
- Recommendation: Consider the request to allow for the conditional use permit for the proposed building addition with drive throughs, subject to additional conditions related to providing missing information and meeting code requirements. See page 10 for reviewer recommendation.

## PROPERTY LOCATION MAP

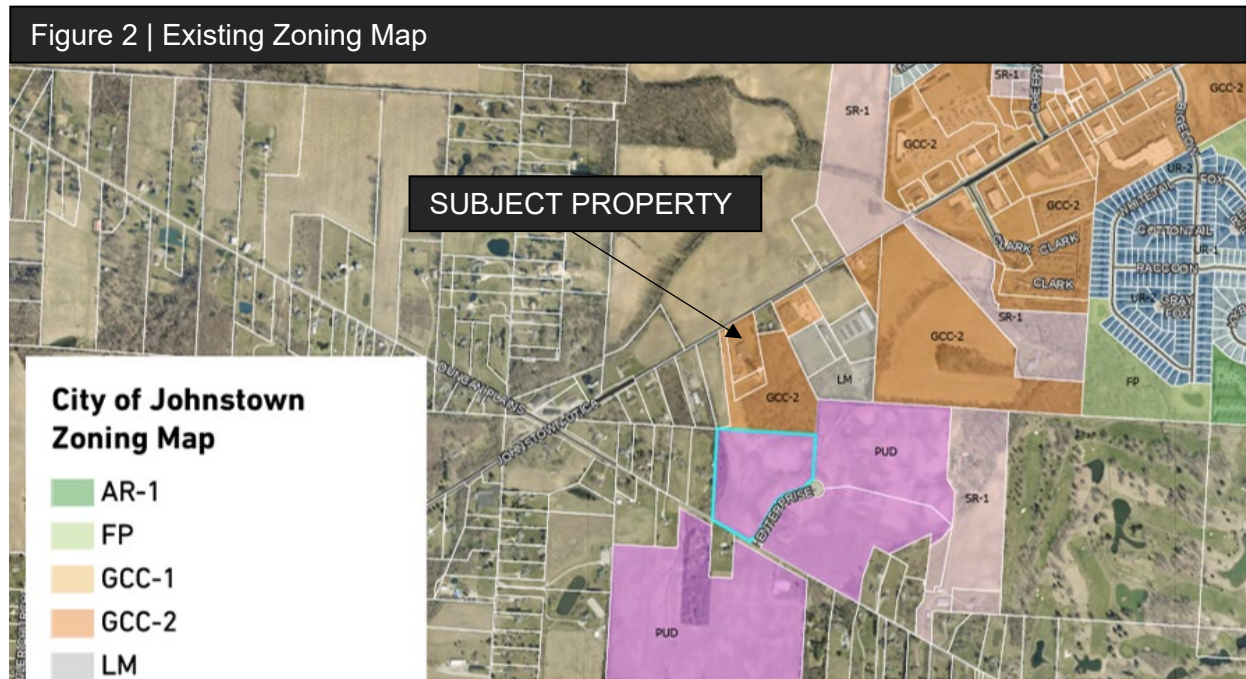


**PROPERTY INFORMATION**

<b>Property Location:</b>	Located on the south side of Johnstown Utica Road (US 62) approximately 1,400 feet north of Duncan Plains Rd.	<b>Property Owner:</b>	Granville Milling Company
<b>Comp Plan Land Use Designation:</b>	Commercial	<b>Overlay District:</b>	No
<b>Existing Zoning Designation:</b>	General Community Commercial District (GCC-2)	<b>Design Review District:</b>	Yes – GCC-2

**BACKGROUND INFORMATION**

The applicant is requesting a Conditional Use Permit (CUP) to construct a 7,200 square foot building addition at the current Granville Milling Company site at 11891 Johnstown-Utica Road. The applicant is proposing a new building with two bays for drive-in/through for the pick-up and sale of feed and alcohol with access from the existing site. The applicant has submitted a site plan illustrating the proposed secondary structure, modifications to ingress/egress, and stormwater treatment, together with a plan view and elevations of the proposed building. These plans are included as an attachment with the packets sent to the Planning and Zoning Commission. The proposed building will be contained within the existing parcel adjacent to the principal building. Figure 2 illustrates the existing zoning in the area of the subject property.



## **CONDITIONAL USE APPLICATION REQUIREMENTS**

A conditional use permit is required for drive-through uses in the GCC-2 District. The application provides the permit application, elevations of the proposed addition, as well as site, grading, and stormwater plans for the conditional use permit. There are several components missing, however, that are needed for complete evaluation of the application. These include:

- **A Landscape Plan** submittal that shows any tree removal, new landscape proposed, replacement application for removed trees. Note, it appears that the new building will require removal of a stand of trees and the expanded stormwater detention may impact the required, existing street trees.
- **A Parking Plan** submittal that highlights the total amount of gross square feet of space including the existing primary structure and the proposed secondary addition together with the required parking and where it is provided. Note: this addition adds 7,200 gross square feet which must be included in the required site parking calculations.
- **Lot Coverage calculation** for the entire site that includes both the existing building and proposed addition. Note: this new secondary building and drive lanes add 20% additional impervious area to the site, per the application. Lot coverage cannot exceed a total of 65% for the site in the GCC-2 District.

Section 1131, Conditional Uses, of the code requires “A plan of the proposed site for the conditional use showing the location of all buildings, parking and loading area, traffic circulation, open spaces, landscaping, refuse, and service areas, utilities, signs, yards, and such other information as the Commission may require to determine if the proposed conditional use meets the intent and requirements of this Ordinance.”

## **COMPREHENSIVE PLAN REVIEW**

The 2024 comprehensive plan designates the subject property as “Commercial”. The description of the Commerce Corridor land use included in the comprehensive plan states:

“The Commerce Corridor describes the city’s commercial center that includes a mix of medium to large-scale retail, restaurant, and commercial buildings. The corridor’s proximity to future employment centers and planned neighborhoods presents opportunities to facilitate mixed-use redevelopment that encourages new internal street networks and a refined focus on pedestrian connectivity. This translates into retail buildings with interactive storefronts that directly front internal streets and provide frequent pedestrian interactions.”

It also recommends maintaining “a consistent architectural style along US 62 to establish a unique Johnstown character for commercial development.”

*Reviewer Comment: In the current location and established condition, the proposed expansion of this use is consistent with the Comprehensive Plan.*

## **EXISTING ZONING SUMMARY**

This site is located within the GCC-2 District in the city of Johnstown. The adjacent parcel to the east is in Monroe Township and zoned B-1 Local Business District (currently the site of a single-family residence and detached garage), and to its east is the Ace Hardware site within Johnstown corporate limits and also zoned GCC-2. The Ace Hardware site provides a cross-access connection point to the residential lot, should it redevelop.

To the west of the subject site, the adjacent parcel is a flag lot access 65 feet wide that is part of the 46+ acre Johnstown Land Company site to the south that also has frontage on Duncan Plains Road. This parcel essentially wraps the subject site to the west and to the east behind the B-1 township parcel. The wrapping Johnstown Land Company parcel is zoned GCC-2, while the larger portion that fronts Duncan Plains is zoned Planned Unit Development (PUD).

Immediately adjacent to the south property line of the Granville Milling Company site is a parcel owned by the city of Johnstown where the new water tower has been constructed. Both the water tower and the subject Granville Milling Company parcel obtain their access through this shared-use access point to US 62 on the Johnstown Land Company parcel.

The land farther to the south along US 62 as well as the agricultural fields across the street are in Monroe Township and zoned B-1 Local Business District along the frontage.

Chapter 1157.01 establishes the purpose of the General Community Commercial District (GCC-2) as “to designate appropriate areas for the establishment and development of commercial activities to service regional needs.” The allowable uses within the district are broadly commercial retail related.

Under 1157.03 Conditional Uses of the GCC-2 District, (e) includes “Drive-through facilities to be developed in association with a permitted use.” Thus, this proposed addition requires this conditional use review and permit. Note that GCC-2 District also falls under the required Design Review District, Section 1187, and requires a Certificate of Appropriateness.

*Reviewer Comment: The proposed use is allowed as a conditional use in this district, provided it meets GCC-2 District and Conditional Use requirements. The proposal must also receive a Certificate of Appropriateness through the Design Review District process.*

## **SITE CONFIGURATION**

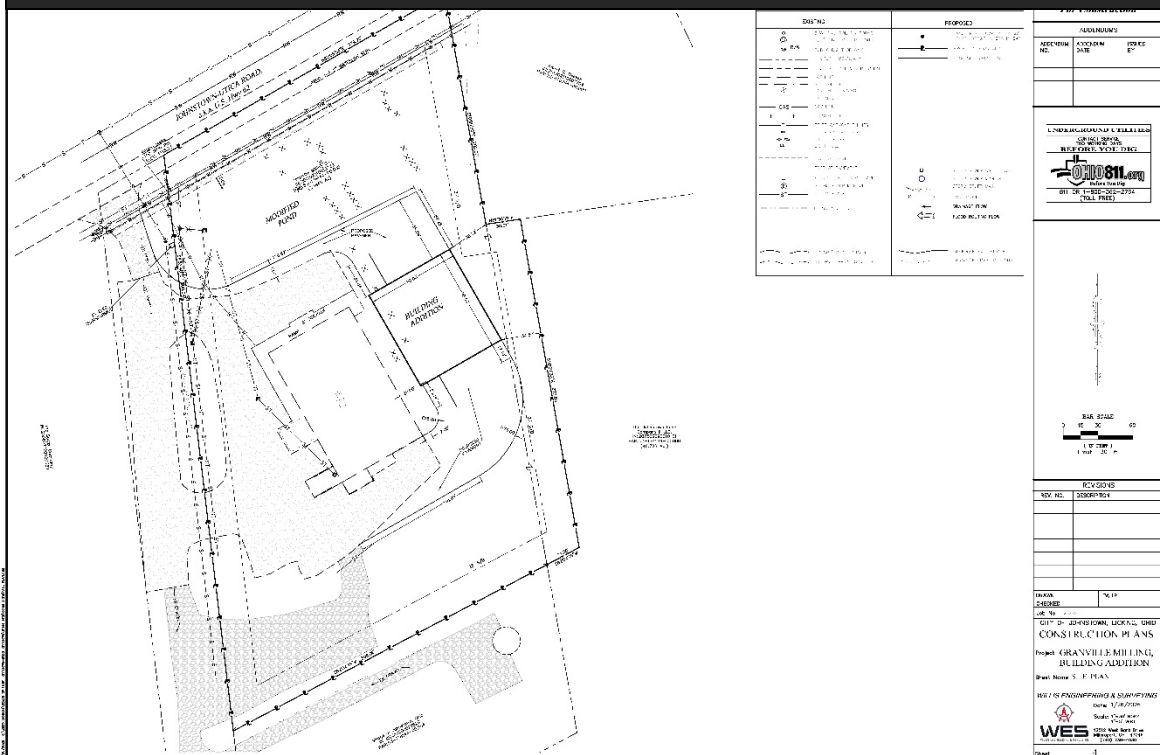
Figure 3, below, illustrates the existing site conditions at 11891 Johnstown-Utica Road (note boundaries are approximate – this is a representation). The proposed addition will be to the east of this existing building, approximately where the arrow is pointing.

Figure 4, below, shows the proposed secondary “building addition.” It creates two drive-in/through bays oriented north-south with drives extended to facilitate this vehicular movement in a loop through the site (and building). The building is designed with similar architecture, finishes, and color to the existing primary building. It has a gable (north-south) standing seam metal roof with two cupolas, board and batten siding, four overhead doors (two per elevation north/south), and four faux cedar barn doors (two per elevation north/south). A wall sign is shown on the north elevation, illuminated by three gooseneck lamps, stating “Granville Milling Company: Beverage & Supply Drive Thru” (see “Plan & Elevations provided by applicant).

Figure 3 | Existing Site Conditions



Figure 4 | Page from Submitted Plan



## **GCC-2 ZONING DISTRICT DEVELOPMENT STANDARDS**

Chapter 1157.04 establishes the zoning district development standards for the GCC-2 zoning district. The table below illustrates the base standards of the GCC-2 zoning district. Please note all applicable development regulations.

<b>Category</b>	<b>Requirement</b>
Minimum Lot Size	N/A <sup>1</sup>
Minimum Lot Width	N/A <sup>2</sup>
Minimum Front Setback	30' <sup>3</sup>
Minimum Rear Setback	25'
Minimum Side Setback	30' <sup>4</sup>
Maximum Lot Coverage	65%
Maximum Building Height	40'
<sup>1</sup> Lot size shall be adequate to provide the yard space required by these additional district development standards. <sup>2</sup> All lots shall be adequate to provide the yard space required by these additional district development standards. <sup>3</sup> Parking shall be at least 15' from the street right-of-way. <sup>4</sup> Total side setback of 30', with a minimum of 25' on one side.	

Per the application materials provided, the proposed addition meets the required setbacks, with the closed side yard to the new building measuring 34.5' per the plan. The parking and drive aisle area, even with the additional pavement, are more than 100 feet from the right-of-way and the buildings are both another 60+/- feet. The extended drive aisles to the new building's two drive throughs improve the pavement and circulation on the front and rear portions of the site.

The GCC-2 District requires a maximum lot coverage of 65% for the permitted and conditional structures, pedestrian sidewalks, drive aisles, and parking areas of the buildable area of the lot. While the application indicates that an additional 20% of the lot is being covered with this proposed addition, it does not provide a total impervious surface area for the lot. This must be provided, and if it exceeds 65%, a variance must be applied for or the site plan altered.

The proposed building height is 28.2' to the peak of the gable roof, well under the maximum 40-foot maximum height permitted.

A traffic and parking system plan is required per 1157.04 if additional building and drives are being proposed. This needs to indicate the number of parking spaces provided, points of ingress and egress, circulation, and pedestrian ways/access. While the provided plans show the vehicular access drive and limits of proposed pavement, the additional parking and circulation information is not provided. While the access remains the same and it appears the parking will as well (the application indicates a total of 15 existing parking spaces), the location, drive aisles and circulation widths need to be shown. Loading, refuse location(s), and outdoor display areas as impacted and proposed with the addition should also be noted. It is also unclear how the parking lot and drives are proposed to be illuminated. This information, as well as how off-site light spillage will be mitigated, should be provided.

The application indicates that the new proposed building will contain 7,200 square feet of gross floor space. Code section 1175.10, Parking Space Requirements, requires one parking space for each 200 square feet of gross floor area for retail uses. An addition of 7,200 square feet would thus necessitate 36 parking spaces if the site does not already provide an overage of 36 spaces. That said, staff are willing to consider the subtraction of internal building space

reserved/to be used only for drive-through. Still this data (total site gross square feet of existing building and proposed addition) and these calculations must be provided to ensure that parking requirements are met.

Section 1157.04-c-2 requires that outdoor trash systems be sufficient to prevent any overflow and screening shall be provided to enclose such containers and hide them from view. How this is being accomplished, including with the addition, should be indicated in the plans.

Stormwater management is also required by code and plans were provided with this application. It appears that requirements are being met and these will be double-checked and must be approved by the City Engineer. To accommodate the additional impervious surfaces of the pavement and building, as well as the necessary site grading, drainage is being routed around or under the site improvements to the basin in the front yard along US 62. Some additional grades are being created to support the drive through aisles on east and south sides that are picked up by a created swale. The existing detention basin along US 62 is being extended and modified (the site plan indicates "modified pond"). This requires abandonment and removal of the primary and secondary leach fields, but this is possible because the site is connecting to Johnstown's sanitary sewer service. It does appear that this grading and construction to modify the stormwater facility could negatively impact or even remove the existing silver maple street trees, the previously required evergreen screening for the residence directly to the west, and potentially the site's ground sign.

This brings up another required missing plan. Code Section 1157.04-d requires that "the landscaping of all parking and service areas shall meet the requirements of Chapter 1183. If side or rear yards are adjacent to any district where single-family or two-family residences are a permitted use, landscaping and screening shall also be required in those yards to meet the requirements of Chapter 1183." A landscape plan must be provided for this site as part of the Conditional Use Permit.

The applicant should review Chapter 1183 and provide a landscape plan that meets these requirements. At a minimum, this plan must address the following:

- Indicate all trees and screening being removed, including their species, condition, and caliper, and submit as part of a Tree Removal Permit (1183.05).
- Provide a tree replacement plan for trees being removed (1183.06).
- Indicate preservation (or replacement) of street trees and tree lawn along US 62 (if replaced, select from the approved street trees list. Silver maples are no longer permitted trees – 1183.13) (1183.08).
- Provide landscape screening of the new areas or areas impacted by the improvements, as required (1183.09). Note this includes maintaining or replacing screening for the residence to the east.
- Provide parking lot landscaping to the extent required by the addition and improvements (1183.10). Note that a low hedge is also recommended to block headlights of vehicles driving through so they don't impact US 62 and parking lots and drive thrus shall be screened from primary streets, residential areas, and open space by a three and five-tenths (3.5) foot minimum height evergreen hedge or masonry wall, or combination of wall and plantings.
- Ensure the design of the stormwater basin has a natural shape and is graded and planted in an attractive manner (1183.12).

*Reviewer Comment: A number of additional details and plans are necessary to determine that the proposed site plan included with the application meets the requirements of the GCC-2 zoning district. Additional review of site-specific zoning criteria and other site development requirements will be addressed during a formal site plan review. Additionally, this site will be required to apply for a Certificate of Appropriateness prior to site development.*

### **GENERAL STANDARDS FOR CONDITIONAL USES (CHAPTER 1131.03)**

The City's Codified Ordinances establish multiple standards that must be evaluated when considering a Conditional Use Permit (CUP). Specifically, Chapter 1131.03 of the Codified Ordinances states: "The Commission shall not approve a conditional use unless it shall, in each specific case, make specific findings of fact directly based on the particular evidence presented to it, that support conclusions that such use at the proposed location shall meet all of the following requirements." The specific conditions are noted below with the reviewer's comments following in *italicized* text.

- (a) Will be harmonious with the existing or intended character of the general vicinity and that such use will not change the general character of such area.

*Reviewer Comment: The proposed use and building addition are in keeping with the zoning district, existing site layout, and they implement similar building scale and materials to the existing building. Alcohol sales are a new use for the site but are permitted in the GCC-2 District ("(I) Carry out food and beverage establishments").*

- (b) Seeks to maintain, and will not be hazardous to, the health, safety and welfare of the existing neighborhood, and the total community.

*Reviewer comment: This drive through use will provide the opportunity for more convenient and faster trips to the site. Alcohol sales may add some trips to the site, but this use is in the GCC-2 District and has ingress and egress from US 62 through an existing, shared-use curb cut. US 62 is a principal arterial and ODOT is planning to widen it to two lanes in each direction, possibly with a center median.*

- (c) Will be served adequately by essential public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewers, and schools; or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide adequately any such services.

*Reviewer Comment: This site will be served by centralized sanitary sewer service, so the leach beds in the front setback will be removed. The current site is within and served by the city of Johnstown. As mentioned above, this site accesses US 62, which is a principal arterial capable of handling any associated increase in traffic from this addition. It also has a stacking distance on its drive access for at least four vehicles.*

- (d) Will not create excessive additional requirements for public facilities and services and will not be detrimental to the economic welfare of the community.

*Reviewer Comment: Based on information provided to the reviewer, the existing public infrastructure in the area can support the proposed building addition. No concerns from a utility, EMS, or police perspective were shared with the reviewer. The application indicates the use of existing infrastructure without the need for expansion, and the removal of leach beds in favor of sanitary sewer service connection.*

- (e) Will not involve uses, activities, processes, materials, equipment, and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.

*Reviewer Comment: The proposed building addition will enclose the proposed uses. It is assumed that the building design accommodates any necessary ventilation for idling vehicles. The proposed addition is not anticipated to create excessive traffic volumes, or produce excessive noise, smoke, fumes, glare, or odors, other than a landscape plan should be provided to screen headlight glare from vehicles driving within and leaving the new drive throughs.*

- (f) Will have vehicular approaches to the property which shall be so designated as not to interfere with traffic on surrounding public streets or roads.

*Reviewer Comment: The proposed plans illustrate the continued use of the existing shared vehicular access point to the property. The existing access point for vehicles has been sufficient and the proposed parking areas and access drives will utilize the existing vehicular access point to US 62.*

- (g) Complies with any other requirements or standards that are cited under the specific zoning district regulations of this Ordinance.

*Reviewer Comment: This proposed building addition and related service drives meet the required setbacks and lot requirements of the GCC-2 District, as well as the building height, stormwater management, and access conditions. Chapter 1157.04 does require a parking plan to demonstrate that parking for the addition is accommodated, a landscape plan to address tree replacement and landscape requirements, an accounting of outdoor displays and trash system, and demonstration of lot coverage calculations to meet the 65% maximum impervious area requirement. The proposed improvements will be required to comply with the remainder of Johnstown's development standards, including the Design Review District and Certificate of Appropriateness.*

- (h) Will be in accord with the general objectives, or with any specific objective, of the strategic plan and the Zoning Ordinance

*Reviewer Comment: The proposed use is allowable within the GCC-2 zoning district and generally complies with goals of establishing commercial activities to service regional needs.*

- (i) Will not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance.

*Reviewer Comment: This site is along the edge of an established wood, and it is expected that a number of trees will need to be removed to accommodate this building addition, the vehicular service drives, and required grading. Section 1183.05 requires a Tree Removal Permit for these instances, including tree replacement and/or a fee-in-lieu of. Other than this*

*requirement, no natural, scenic, or historic features of major importance have been identified on this site.*

- (j) Is a conditional use identified for the applicable zoning district.

*Reviewer Comment: Chapter 1157.03 of the Codified Ordinances establishes drive-through facilities in association with a permitted use as a conditional use. The applicant has requested a CUP as required by the codified ordinances and that is the purpose of this review.*

### **COMPLIANCE WITH CODIFIED ORDINANCES**

The application submitted does not include or illustrate some required elements, including: 1) a landscape plan (many components), 2) a parking, loading, and circulation plan, 3) a parking space provision calculation, 4) a refuse and outdoor display plan, and 5) an impervious surface area calculation. Some of these components may alter the proposed plan. If this CUP is approved, a site plan review and Certificate of Appropriateness will need to be requested and approved prior to any site development activities occurring on the site.

With the addition of impervious structure and surface as part of the site plan, the City Engineer must review and approve the provided documentation that the capacity and size of the storm water facility meet the current regulations during the site plan review process.

### **CONCLUSION**

At the highest level, the reviewer does not find an inconsistency between the requested Conditional Use Permit for secondary building for drive-through feed and alcohol sales for Granville Milling Co and the adopted comprehensive plan and GCC-2 zoning district. However, the compliance of the site plan as proposed, and its related impacts, per the GCC-2 District and larger code requirements, is not confirmed. Staff recommends the Planning Commission table the CUP request, with applicant agreement, in order for the applicant to provide the required information outlined above.

If the Planning Commission proceeds with a determination on the CUP, note that per Code Section 1131.05, in granting any conditional use, the Commission may prescribe appropriate conditions and safeguards in conformance with the Codified Ordinances of Johnstown, and as described in this staff report.