



Design Review Board Meeting
Tuesday, September 23, 2025 - 5:00 PM
AGENDA

1. Call to Order/Roll Call
2. Public Comment on items not on the agenda
3. Approval of Minutes
 - a. September 9, 2025
4. TABLED - Application # 7-15-25 Certificate of Appropriateness; 67 S. Main St. - Exterior
5. TABLED - Application # 8-5-25 Certificate of Appropriateness; 68 S. Main St. - Sign
 - a. Application - Updated
6. Application # 6-2-35 Certificate of Appropriateness; 852 W. Coshocton St. - Sign
 - a. Application
7. Application # 8-18-25 Certificate of Appropriateness; 244 N. Main St. - Home/Garage Addition
 - a. Application
8. Other Business
9. Adjourn



Design Review Board
Tuesday, September 9, 2025 - 5:00 PM
MINUTES

1. Call to Order/Roll Call

Board Chair Heather Green called the Design Review Board to order for September 9, 2025 at 5:04 pm

Present - Heather Green, Franz Stein, Andrew Hale, Craig Bohning, Dustin Gerken
Absent - None

Staff present - Sean Staneart - City Manager, Teresa Monroe - Clerk of Council

Public present - Andrea Ford, Dale Leatherberry, Rob Whipple, Jamie McNally

2. Public Comment on items not on the agenda

No comments

3. Approval of Minutes

a. August 26, 2025

ACTION: Craig Bohning moved to approve; Heather Green seconded and the vote was as follows:

AYES: Craig Bohning, Dustin Gerken, Andrew Hale, Heather Green

NOES: None

ABSTAIN: Franz Stein

Passed 4 - 0

4. TABLED - Application # 7-15-25 Certificate of Appropriateness; 67 S. Main St. - Exterior Renovations

a. Revised application

ACTION: Heather Green moved to take off the table; Craig Bohning seconded and all were in favor.

AYES: Heather Green, Franz Stein, Andrew Hale, Craig Bohning, Dustin Gerken

NOES: None

ABSTAIN: None

Passed 5 - 0

Bradley Blumensheid, project architect, was present and said that the feedback from the last meeting was helpful. They met with the owner and discussed what could be incorporated in the changes. The board reviewed updated building elevations, composite material sample and a revised staff report. Proposed changes include using composite

material for the trim pieces, to recess the storefront four inches to create a shadow line, and raising the water table a couple of inches. Discussion on removal of the awning and the overall look of the storefront. Andrew Hale said he would like to see the water table come up, more similar to the historic photo, and would also like to see the large glass panels divided. He also asked for clarification on the mixture of aluminum storefront and composite and what will be seen. Mr. Blumensheid said the larger trim pieces, the header, the sill, the columns, are composite. The aluminum frame will be partially covered by the composite. Heather Green said she would like to see the plan for the different planes. Dustin Gerkin asked if they could create recessed panels in the water table with the composite for detail, an inset. He said he would also like to see the glass divided. There were no further comments on the storefront.

Discussion on the windows on the side elevation. Sean Staneart said it was staffs' understanding that those windows were new and added recently and not in existence behind the plywood, if that is the case, that would need to be addressed. Additionally, the rear elevation should be updated to show removal of the electrical and fence/rail and what the final product will look like. Ms. Green said they need to know what the plan is for the windows on the side, specifically ones that are boarded up, and if the intent is to still match the storefront on the ones already exposed.

Heather Green reviewed board requests:

1. Raise the water table on the storefront, prefer 15 inches, add inset detail
2. Add one vertical grid section down the center of the top and bottom windows
3. Provide a printed section cut through the storefront and show dimensions on the front elevation
4. Need to know the intent for the windows on the side
5. Provide a rear elevation to show absence of electrical and what the final product will look like
6. Show a rear elevation plan for the rear fence/railing on the back dock that was partially removed, provide material detail

Discussion on the thirty-day deadline for a decision by the board, there is time to bring this back on at the next meeting. The board stated that they were in favor of the composite material submitted, black with a smooth finish.

ACTION:	Craig Bohning moved to table; Franz Stein seconded and the vote was as follows:
AYES:	Craig Bohning, Dustin Gerken, Andrew Hale, Heather Green, Franz Stein
NOES:	None
ABSTAIN:	None

Passed 5 - 0 TABLED

5. Application # 8-5-25 Certificate of Appropriateness; 68 S. Main St. - Sign
 - a. Application

Sean Staneart stated that the applicant was informed that they needed to bring the sign material samples to the meeting, the sign company representative present stated that he was unaware of that.

Board review of the application submitted. The application presented shows that the sign rendering is not to scale, Dustin Gerkin said he doesn't hate the scale that is shown, but he has a feeling that if the applicant comes back with a to-scale rendering it will look way too wide. Discussion on the black letters, applicant stated they were a matte finish. Discussion on how the letters will be applied to the brick. Dustin Gerkin said he likes the look of the end of the "F" and end of the "A" lining up with the exterior sconces, so he would just pull that measurement. He would also like to see the bottom of the "Aesthetic & Wellness" line up with the top of the frame of the adjacent windows.

Direction given to the applicant:

1. Bring material samples for the black letters and the acrylic panel.
2. Bring two versions back, one to scale with the eight feet wide and one as shown with those measurements and alignment discussed for A and Y lining up with sconces and to lower the clear panel to line up with top of windows
3. Use spacers behind the clear acrylic

ACTION: Craig Bohning moved to table; Andrew Hale seconded and the vote was as follows:
AYES: Craig Bohning, Dustin Gerken, Andrew Hale, Heather Green, Franz Stein
NOES: None
ABSTAIN: None

Passed 5 - 0 TABLED

6. Application # 8-27-25 Certificate of Appropriateness; 11820 Green Chapel Rd. - Demolition

a. Application

Jamie McNally with the Johnstown Land Company was present for the application. He said that as part of the Planned Development, just north of Green Chapel, they have been working on zoning and moving some puzzle pieces around. They have been working with Licking Rural Electric (LRE) to relocate their substation originally planned at the southwest corner of Mink and Duncan Plains, they are doing a land swap with them to relocate the substation it will be buried into what is Subarea 1 and will be neighboring the eastern boundary of the Cologix site. In order to move LRE, they need to establish a flag lot so they have road frontage. The home proposed for demolition is on this flag lot, it is not occupied, and has been broken into a couple of times and had all the copper taken out, the inside is not in great shape. There is no city water or sanitary service to this home.

Public Hearing:

1. Andrea Ford

- Asked for clarification on access drive location, Duncan Plains vs. Green Chapel. Mr. McNally said that the original substation was supposed to be at the corner of

Duncan Plains and Mink, they are going to buy that property and then put the substation next to Cologix so the road frontage will be on Green Chapel.

- Asked what is the anticipated date for demolition. Mr. McNally said as soon as possible, it would be this month.
- Concern for the demo and if there could be asbestos flying around because she lives next door. Ms. Green noted that the applicant did provide an asbestos disclosure and inspection, with no concerns noted.
- Said that the pool has been sitting with water in it for a couple of years not being maintained. Her well is close and she doesn't want that water drained out near her well. Mr. McNally said they can have their engineering team take a look and let her know how they will handle it.

Heather Green said that she wants to make sure they are doing this with intention because it is still a demo of a house, in Johnstown, she doesn't want any precedence to be set on this one because it is already... x,y,z. Sean Stanearth said that is a good callout, they want to treat this just like any other and consider any historical significance of the house, and a key piece is to look at is what is the intended use at a later date, which has been discussed. Ms. Green said approval is with the understanding that it has been reviewed for zoning and historical significance. Mr. Stein said it sounds like the house is already in bad shape and is an attractive nuisance.

ACTION: Craig Bohning moved to approve; Andrew Hale seconded and the vote was as follows:
AYES: Craig Bohning, Dustin Gerken, Andrew Hale, Heather Green, Franz Stein
NOES: None
ABSTAIN: None

Passed 5 - 0

7. Other Business

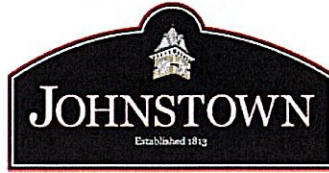
1. Sean Stanearth said there is an email circulating about the next Steering Committee meeting, they are working to schedule.

8. Adjourn

ACTION: Craig Bohning moved to adjourn; Heather Green seconded and all were in favor.
AYES: Heather Green, Franz Stein, Andrew Hale, Craig Bohning, Dustin Gerken
NOES: None
ABSTAIN: None

Passed 5 - 0

The meeting ended at 6:21 pm.



CERTIFICATE OF APPROPRIATENESS: CHAPTER #1187
(SIGN)

Application Number: _____ Date: 8/15/25

FEES:

Base Fee: \$ 75

Total Fee Amount: \$ 75.00 Paid: Check # 226 Cash: \$ _____

PAID

AUG 15 2025

CITY OF JOHNSTOWN

(PLEASE PRINT LEGIBLY)

1. Applicant: David Dellasi Phone: (330) 542-4575
2. Property Address: 68 S. Main City: Johnstown State: OH Zip: 43031
3. Applicant's E-mail: david@freya-aesthetics.com
4. Business Owner's Name: David Dellasi Phone: (330) 542-4575
5. Contractor's Name: Joe Deshane Phone: (614) 513-6699
6. Principal Business Activity: Medical spa / wellness spa
7. Existing Use of Property: unoccupied
8. Square Footage of Proposed Building or Business: 900 sq. ft.
9. Zoning District: GCC1 Number of Off-Street Parking Spaces: _____
10. Estimated Cost of Improvements: \$40,000

****** Materials required for submission with this application. (Digital file preferred)**

- (1) A dimensioned site plan showing existing conditions including all structures, pavement, curb-cut locations, natural features such as tree masses and riparian corridors, and rights-of-way.
- (2) A dimensioned site plan showing the proposed site change including structures, pavement, revised curb-cut locations, landscaping, property lines and screening of mechanicals.

- (3) Illustration of all existing building elevations from street/ground to scale & picture of project before starting.
- (4) Illustrations of all proposed building elevations to scale & picture of project when it's finished.
- (5) Samples of proposed building materials. *Sign material*
- (6) Color samples for proposed roof, siding, etc.
- (7) Illustrations of all existing site signage including wall and ground.
- (8) Illustrations of proposed signage to scale.
- (9) A dimensioned site plan showing location of existing ground mounted signs.
- (10) A dimensioned site plan showing the proposed location of ground mounted signs.
- (11) Samples of proposed sign materials.
- (12) Color samples of proposed sign(s).
- (13) Proposed lighting plan for sign(s).
- (14) **ASK THE ZONING INSPECTOR ABOUT** the Sign with the Date, and Time for the Public Hearing.

List of Materials that will be used on the project:

1. *See sign proof image 2. / PVC-acrylic*
3. _____ 4. _____
5. _____ 6. _____

List of Contiguous Neighbors and Addresses:

- | | | | | |
|----|-----------------------|--------------------------|-------------|----------------|
| 1. | Neighbor's Name _____ | Neighbor's Address _____ | State _____ | Zip Code _____ |
| 2. | Neighbor's Name _____ | Neighbor's Address _____ | State _____ | Zip Code _____ |
| 3. | Neighbor's Name _____ | Neighbor's Address _____ | State _____ | Zip Code _____ |
| 4. | Neighbor's Name _____ | Neighbor's Address _____ | State _____ | Zip Code _____ |

The undersigned is applying for a Certificate of Appropriateness Permit for the following use: said permit is to be issued based on the information contained within this application. The applicant hereby certifies that all information and attachments to this application are true & correct and agrees to follow all applicable laws.

Applicant's Signature: *[Signature]* Date: *8 / 15 / 25*

**** CHECKS PAYABLE TO: CITY OF JOHNSTOWN**
599 S. Main St. Johnstown, OH 43031

OFFICE USE ONLY:

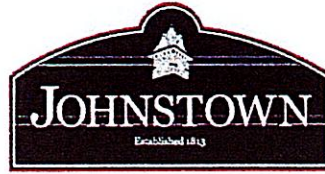
Date Received in Office: 8 / 15 / 25 By: [Signature]

Date of Planning and Zoning Commission Meeting: ____/____/____

Date Permit Approved or Denied by P & Z Commission or DRB: ____/____/____

Conditions Necessary for Approval: _____

City Manager Signature: x _____



SIGN PERMIT APPLICATION: CHAPTER #1177

Application Number: _____ Date: 8 / 15 / 2025

FEES:

Base fee: \$150 - Sign size in sq. ft.: 32 @ \$.50 = \$ 16.00

Total Amount: \$ 166.00 Paid: Check #: 226 Cash: \$ _____

PAID

AUG 15 2025

CITY OF JOHNSTOWN

1. Applicant: David DeMasi / Freya Aesthetics and Wellness
2. Address: 68 S. Main St City: Johnston State: OH Zip: 43031
3. Phone: (330) 592 - 4575
4. E-mail Address: david@freya-aesthetics.com Zoning District: GCC-1
5. Business Address: 68 S. Main St Johnstown, OH. 43031
6. Existing Use of Property: unoccupied
7. Proposed Use of Property: Medical spa / wellness spa
8. Type of Sign:
 - Canopy / Awning: _____ Size: _____
 - Identification: (Name & Address of business only): Size: _____
 - Marquee: _____ Size: _____
 - Projecting: _____ Size: _____
 - Wall: Freya Aesthetics and Wellness Size: 46 in x 28 in
 - Monument: _____ Size: _____
 - Other: _____ Size: _____
9. Wording on Sign: Freya Aesthetics and Wellness
10. Elevation: Length: _____ ft. Width: _____ ft. Height: _____ ft.

11. Contractor Information:

Name: Fast Signs

Address: 654 A Brookedge Blvd City: Westerville State: OH Zip: 43081

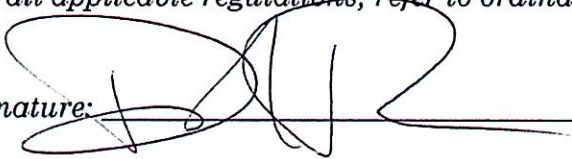
E-mail: terran.browell@fastsigns.com

Contractor Business Phone Number: (614) 890 - 3821 ext 6

IN ADDITION, THE FOLLOWING ITEMS MUST ACCOMPANY THIS APPLICATION:

- ☒ Attach two (2) sets of sign drawings, scaled and with colors of all signs and their locations on the building. If the sign is free standing include a plot plan.
- ☒ Attach Certificate of Liability Insurance.

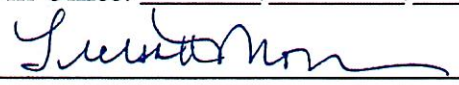
The undersigned is applying for a Sign Permit for the following use: said permit to be issued based on information contained within this application. The applicant hereby certifies that all information and attachments to this application are true and correct and agrees to follow all applicable regulations, refer to ordinance #1177.01 through #1177.99.

Applicant's Signature: 

Date: 8/15/25

OFFICE USE ONLY:

Date Received in Office: 8 / 15 / 25

Received By: 

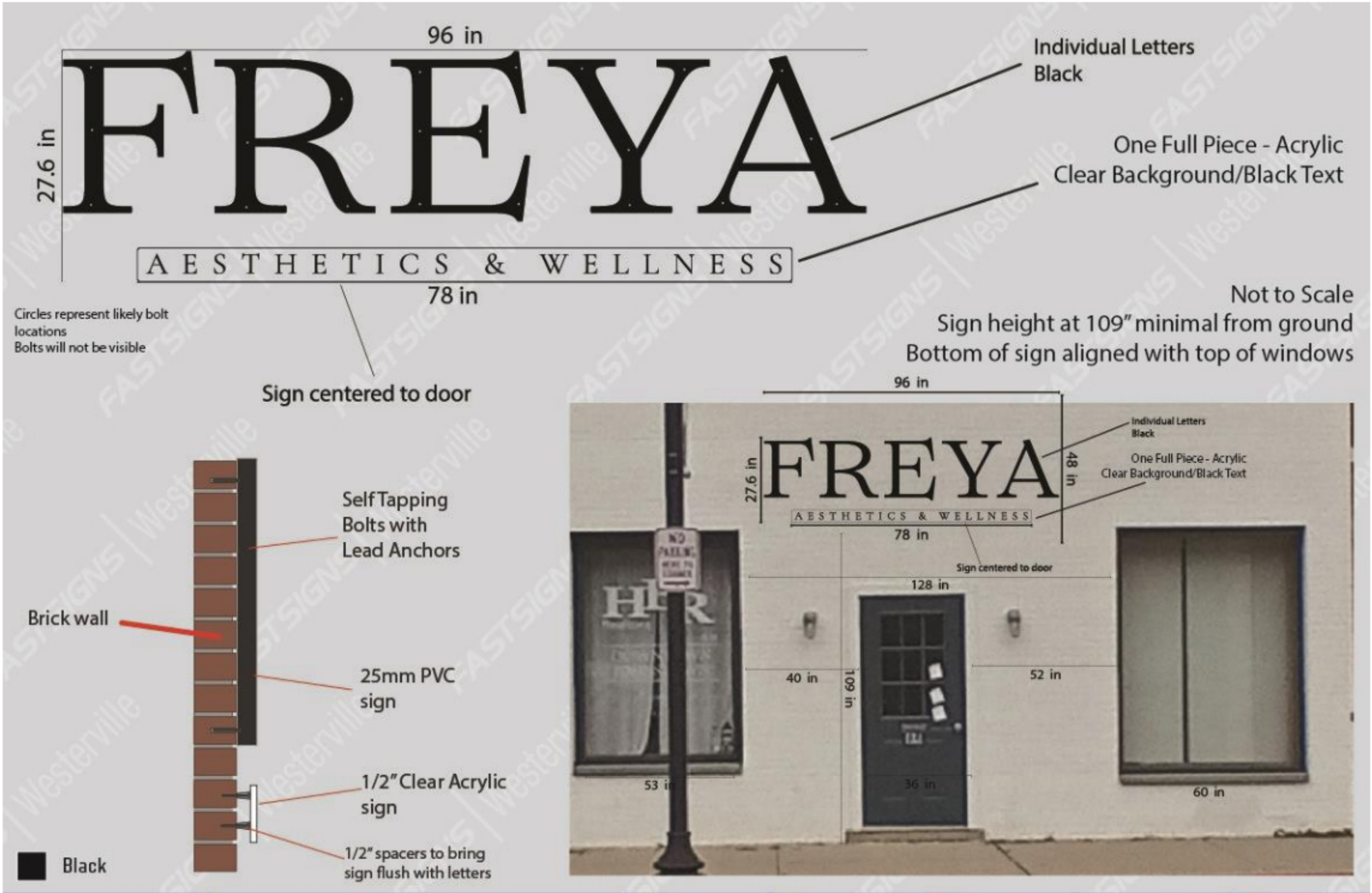
Date Permit Issued: _____ / _____ / _____ By: _____

Date of Inspection If Required: _____ / _____ / _____ By: _____

Zoning Code Enforcement Official: x _____

Additional Comments: _____

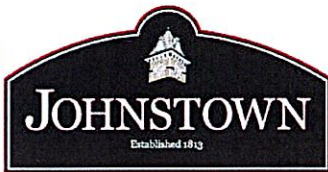
View proof for Freya Dimensional Logo, 25mm PVC & Clear Acrylic, Black, 96x28 (1) SS



☐ Printed Vinyl / Cut Vinyl	Material: PVC & Acrylic		☐ Tape Mount	☐ Trimmed Edges	☒ Thru-Cut / Route	☒ Single Sided	☒ 1st Surface
☐ Printed Fabric	Laminate: xxx	Thickness: 25mm	☒ Stud Mount	☐ Wrapped Edges	☐ Kiss-Cut	☐ Double Sided	☐ 2nd Surface
☒ Dimensional / Substrate Signage	Date: 08/14/2025	Inv: 306142	☐ Grommets	☐ Painted Edges	☐ Bubble Cut		
☐ Fabricated / Illuminated Signage			☐ Pre-drilled Holes				
			☐ No Mounts				
FASTSIGNS Westerville			Part No: P1	Revision No: 1	Designer: TH		

Disclaimer: Before approving the final design, please carefully inspect the following: 1. Spelling and Grammar - Ensure all text is accurate and free of spelling or grammatical errors. 2. Colors - Verify that the colors displayed meet your expectations. Please note that colors may vary between computer screens and the final printed product due to differences in calibration and materials. 3. Fonts and Sizes - Confirm that the chosen fonts and their sizes align with your preferences. It's essential to thoroughly review the proof to avoid any discrepancies between the expected outcome and the final product. By approving the proof, you acknowledge that you have carefully inspected the design and take responsibility for any errors overlooked during this process. Once approved, changes may be difficult or impossible to implement, so please ensure your complete satisfaction before giving your consent. Any adjustments needed post-approval may result in additional costs and production time.

PAID
JUN 17 2025
CITY OF JOHNSTOWN



CERTIFICATE OF APPROPRIATENESS: CHAPTER #1187

(SIGN)

Application Number: 6-2-35 Date: 6/2/25

FEES:

Base Fee: \$ 75

Total Fee Amount: \$ 75 Paid: Check # 2619 Cash: \$ _____

(PLEASE PRINT LEGIBLY)

1. Applicant: Oliver Holtsberry (Jersey Mikes) Phone: (419) 296 - 3664
2. Property Address: 852 W Coshocton St City: Johnstown State: OH Zip: 43031
3. Applicant's E-mail: oholtsberry@danitesign.com
4. Business Owner's Name: Heather Case Phone: (216) 856 - 4026
5. Contractor's Name: DaNite Sign Company Phone: (419) 296 - 3664
6. Principal Business Activity: restaurant
7. Existing Use of Property: used to be a Verizon retail store
8. Square Footage of Proposed Building or Business: wall sign - 36 sq ft sq. ft.
9. Zoning District: 425 (shopping center) Number of Off-Street Parking Spaces: 30
10. Estimated Cost of Improvements: \$ 6000

****** Materials required for submission with this application. (Digital file preferred)**

- (1) A dimensioned site plan showing existing conditions including all structures, pavement, curb-cut locations, natural features such as tree masses and riparian corridors, and rights-of-way.
- (2) A dimensioned site plan showing the proposed site change including structures, pavement, revised curb-cut locations, landscaping, property lines and screening of mechanicals.

- (3) Illustration of all existing building elevations from street/ground to scale & picture of project before starting.
- (4) Illustrations of all proposed building elevations to scale & picture of project when it's finished.
- (5) Samples of proposed building materials.
- (6) Color samples for proposed roof, siding, etc.
- (7) Illustrations of all existing site signage including wall and ground.
- (8) Illustrations of proposed signage to scale.
- (9) A dimensioned site plan showing location of existing ground mounted signs.
- (10) A dimensioned site plan showing the proposed location of ground mounted signs.
- (11) Samples of proposed sign materials.
- (12) Color samples of proposed sign(s).
- (13) Proposed lighting plan for sign(s).
- (14) **ASK THE ZONING INSPECTOR ABOUT** the Sign with the Date, and Time for the Public Hearing.

List of Materials that will be used on the project:

1. wall sign (aluminum, plexiglass, vinyl) 2. _____
3. face replacement (lexan faces & vinyl graphics) 4. _____
5. _____ 6. _____

List of Contiguous Neighbors and Addresses:

1.	Fiesta Del Rio	856 W Coshocton Street Johnstown	OH	43031
	Neighbor's Name	Neighbor's Address	State	Zip Code
2.	Advanced Vapor	850 W Coshocton Street Johnstown	OH	43031
	Neighbor's Name	Neighbor's Address	State	Zip Code
3.	Elements Dental	846 W Coshocton Street Johnstown	OH	43031
	Neighbor's Name	Neighbor's Address	State	Zip Code
4.	Fast Braces	844 W Coshocton Street Johnstown	OH	43031
	Neighbor's Name	Neighbor's Address	State	Zip Code

The undersigned is applying for a Certificate of Appropriateness Permit for the following use: said permit is to be issued based on the information contained within this application. The applicant hereby certifies that all information and attachments to this application are true & correct and agrees to follow all applicable laws.

Applicant's Signature: x *Joe Hargis* 2025.05.30 15:52:43 -04'00' Date: ____/____/____

**** CHECKS PAYABLE TO: CITY OF JOHNSTOWN**

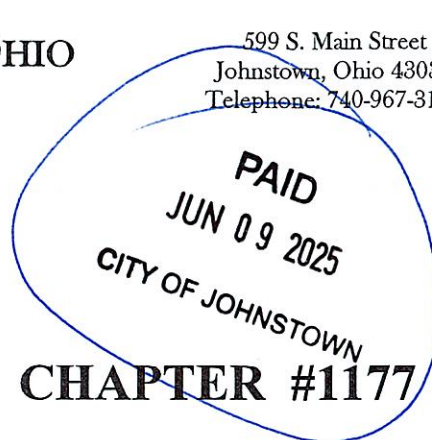
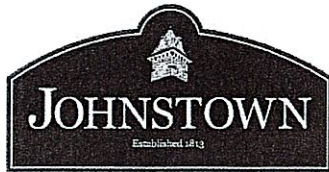
599 S. Main St. Johnstown, OH 43031

Date Received in Office: 6 / 2 / 25 By: J. Wymer

Date Permit Approved or Denied by ~~P & Z~~ Commission or DRB: / /

Conditions Necessary for Approval: _____

City Manager Signature: x _____



SIGN PERMIT APPLICATION: CHAPTER #1177

Application Number: 6-2-40 Date: 6 / 3 / 25

FEES:

Base fee: \$150 - Sign size in sq. ft.: _____ @ \$.50 = \$ _____

Total Amount: \$ 225 Paid: Check #: 8103 Cash: \$ _____

1. Applicant: Oliver Holtsberry (DaNite Sign Company)
2. Address: 1640 Harmon Ave City: Columbus State: OH Zip: 43223
3. Phone: (419) 296 - 3664
4. E-mail Address: oholtsberry@danitesign.com Zoning District: 425 (shopping center)
5. Business Address: 852 Coshocton Street Johnstown, OH. 43031
6. Existing Use of Property: shopping center, the tenant spot was a Verizon before
7. Proposed Use of Property: restaurant
8. Type of Sign:
 - Canopy / Awning: _____ Size: _____
 - Identification: (Name & Address of business only): Size: _____
 - Marquee: _____ Size: _____
 - Projecting: _____ Size: _____
 - Wall: X _____ Size: 2' 3.75" h x 16' w (36 sq ft)
 - Monument: _____ Size: _____
 - Other: re-facing tenant panels on existing pylon sign Size: 1' 3" h x 3' 8" w (4.58 sq ft)
9. Wording on Sign: Jersey Mike's Subs
10. Elevation: Length: 40 ft. Width: 21' 4" ft. Height: 21' ft.

11. Contractor Information:

Name: DaNite Sign Company

Address: 1640 Harmon Ave City: Columbus State: OH Zip: 43223

E-mail: oholtsberry@danitesign.com

Contractor Business Phone Number: (614) 444 - 3333

IN ADDITION, THE FOLLOWING ITEMS MUST ACCOMPANY THIS APPLICATION:

- Attach two (2) sets of sign drawings, scaled and with colors of all signs and their locations on the building. If the sign is free standing include a plot plan.
- Attach Certificate of Liability Insurance.

The undersigned is applying for a Sign Permit for the following use: said permit to be issued based on information contained within this application. The applicant hereby certifies that all information and attachments to this application are true and correct and agrees to follow all applicable regulations, refer to ordinance #1177.01 through #1177.99.

Applicant's Signature:  2025.06.02 15:58:05 -04'00' Date: / /

OFFICE USE ONLY:

Date Received in Office: 6 / 3 / 25

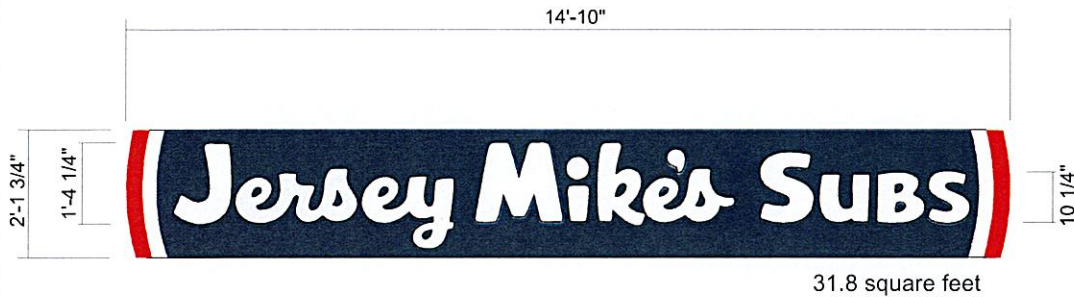
Received By: T. Wymer

Date Permit Issued: / / By:

Date of Inspection If Required: / / By:

Zoning Code Enforcement Official: x

Additional Comments:



31.8 square feet

APPROVED
By kzuravnsky at 9:04 am, Sep 15, 2025

OPTION 1

SIGN ELEVATION: 1/2"=1'-0"

Notes

- Manufacture & install one (1) single face, non-illuminated, aluminum, shoebox cabinet holding one (1) set of non-illuminated, fabricated, aluminum, reverse channel letters; whole sign to be mounted above canopy of the building
- Background of the shoebox to be painted blue PMS 534C; inner outline to be first surface, white vinyl; outer outline to be first surface, red 3650-13 (to match red PMS 485C as close as possible)
- Reverse channel letters on top to be painted white



PHOTO RENDERING NTS

NOTE: due to printer limitations, colors shown may not exactly match specified. Refer to material charts for true colors.

BES **Brilliant Electric Sign Co., Ltd.**
4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

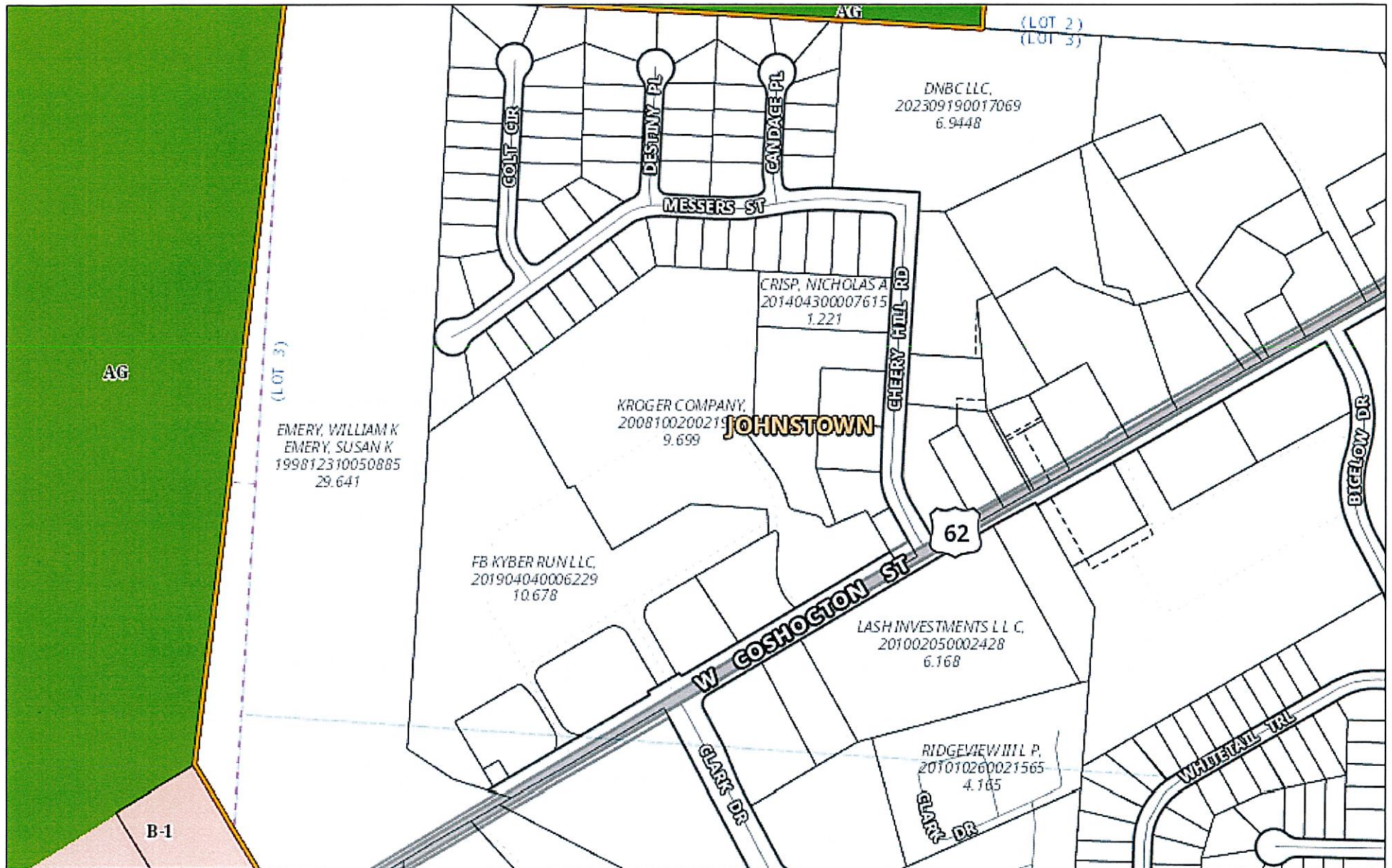
NOTE: THIS IS AN ORIGINAL UNPUBLISHED DESIGN. IT IS NOT TO BE REPRODUCED, COPIED, OR EXHIBITED IN ANY FASHION. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONJUNCTION WITH A PROJECT BEING PLANNED FOR YOU. IT IS NOT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION.

COMPANY NAME	JERSEY MIKES	SALESMAN	MH	DATE	3/5/25	REVISION	7/15/25cp 7-25-25dm	DESIGN NO.	B25-356
LOCATION	852 W COSHOCTON ST., JOHNSTOWN, OH	DESIGNER	CP	SCALE	SHOWN	COPYRIGHT ©			2025
					FILE NAME charlotte/ jersey mikes (johnstown, oh)				




Brilliant Electric Sign Co., Ltd.
 4811 VAN EPPS RD., CLEVELAND, OHIO 44131 (216)741-3800

OnTrac Property Map



August 7, 2025



Licking County Auditor GIS

LICKING COUNTY TAX MAP

Some of the requests below may not apply to your application.

- (1) A dimensioned site plan showing existing conditions including all structures, pavement, curb-cut locations, natural features such as tree masses and riparian corridors, and rights-of-way.
- (2) A dimensioned site plan showing the proposed site change including structures, pavement, revised curb-cut locations, landscaping, property lines and screening of mechanicals.
- (3) Illustration of all existing building elevations from street/ground to scale & picture of project before starting.
- (4) Illustrations of all proposed building elevations to scale & picture of project when it's finished.
- (5) Samples of proposed building materials.
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- (7) Illustrations of all existing site signage including wall and ground.
- (8) Illustrations of proposed signage to scale.
- (9) A dimensioned site plan showing location of existing ground mounted signs.
- (10) A dimensioned site plan showing the proposed location of ground mounted signs.
- (11) Samples of proposed sign materials.
- (12) Color samples of proposed sign(s).
- (13) Proposed lighting plan for sign(s).
- (14) The applicant shall post one sign per public street frontage of the subject property within fifteen (15) feet of the curb indicating the subject, date, and time for a public hearing. The sign(s) shall be posted at least ten (10) days prior to the scheduled hearing. The sign(s) should be purchased at the Johnstown City Offices and will measure no less than two (2) feet by three (3) feet.

List of Materials that will be used on the project:

1. Match Existing House. See Photos 2. _____
3. _____ 4. _____
5. _____ 6. _____
7. _____ 8. _____

List of Contiguous Neighbors and Addresses:

1. <u>Lisa and Ron Danne</u>	<u>39 Leafy Knoll Way</u>	<u>OH</u>	<u>43031</u>
Neighbor's Name	Neighbor's Address	State	Zip Code
2. <u>Tina Priest</u>	<u>238 North Main Street</u>	<u>OH</u>	<u>43021</u>
Neighbor's Name	Neighbor's Address	State	Zip Code
3. <u>Peggy Ferrell</u>	<u>272 North Main Street</u>	<u>OH</u>	<u>43031</u>
Neighbor's Name	Neighbor's Address	State	Zip Code
4. <u>Tucker Arthurs + Kayla McMurtry</u>	<u>53 Leafy Knoll Way</u>	<u>OH</u>	<u>43031</u>
Neighbor's Name	Neighbor's Address	State	Zip Code

*The undersigned is applying for a Certificate of Appropriateness Permit for the following use:
said permit is to be issued based on the information contained within this application. The*

applicant hereby certifies that all information and attachments to this application are true & correct and agrees to follow all applicable laws.

Applicant's Signature: ☒ _____

Date: 8 / 18 / 2025

OFFICE USE ONLY:

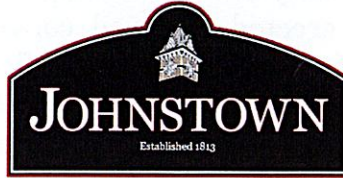
Date Received in Office: 8 / 18 / 25 By: [Signature]

Date of ~~Planning and Zoning~~ Commission Meeting: 9 / 23 / 25

Date Permit Approved or Denied by ~~Planning~~ Commission: DRB ____/____/____

Conditions Necessary for Approval: _____

City Manager Signature: ☒ _____



ZONING CERTIFICATE & CERTIFICATE OF COMPLIANCE PERMIT APPLICATION: CHAPTER #1127

Application Number: _____ Date : ____/____/____

FEES:

Base Fee Single Family Residence: \$100

Base Fee All Other Uses: \$200

Total Fee Amount: \$_____ Paid: Check #_____ / Cash: \$_____

1. Applicant: Lauren and Justin Hartfield Phone: (740) 644-4675
2. Property Address: 244 North Main Street City: Johnstown State: OH Zip: 43031
justin.hartfield@gmail.com
3. E-mail Address: lauren.m.hartfield@gmail.com Zoning District: _____
4. Business Name: _____
5. Existing Use of Property: Residential
6. Proposed Use of Property: Residential
7. Number and Dimensions of Existing and Proposed Off-Street Parking or Loading Spaces, Applicable: _____ & Sq. Ft. Per Space: _____
8. Contractor Name: _____ Phone: (____) _____ - _____
9. Number of Dwelling Units: _____ Square Footage of Unit: _____
10. Height of Proposed Buildings or Alterations: _____
11. Yard Dimensions: Front: 132' Rear: 133' Left Side: 132' Right Side: 132'
12. Percentage of Lot to be covered: 14 % Area of Lot: 17,424 sq. ft.
13. Estimated Cost of Unit: \$_____

Certificate of Zoning Compliance Required. It shall be unlawful to use or occupy or permit the use or occupancy of any building or premises, or both, or part thereof hereafter created, erected, changed, converted, or wholly or partly altered or enlarged in its use or structure until a Certificate of Zoning Compliance shall have been issued therefor by the Zoning Inspector stating that the proposed use of the building or land conforms to the requirements of this Ordinance.

Application for Certificate of Zoning Compliance. Certificates of Zoning Compliance shall be applied for by the applicant giving written notice to the Zoning Inspector that the exterior erection or structural alteration of such building shall have been completed in conformance with the provisions of this Ordinance.

IN ADDITION, THE FOLLOWING ITEMS MUST ACCOMPANY THIS APPLICATION:

- A set of one (1) of scale plans and dimensioned drawings showing the lot, with location of existing and proposed buildings their height and planned alterations are required.
- Attach any requested, supplemental or necessary documentation such as: Number of dimensions of existing and proposed off-street parking or loading spaces, applicable. Other material may be requested by the Zoning Inspector to determine conformance with and provide for the enforcement of this ordinance.
- For all new businesses or change of business use, for all commercial buildings with interior remodeling projects you are required to notify the Johnstown Monroe Fire Inspector at (740) 967-2976 of business and interior structure changes. A Licking County Building Department Permit is required for all structural changes, electrical, HVAC and plumbing. Their contact number is (740) 349-6671. (Ask for Heidi or Erin)

The undersigned is applying for a Zoning Permit for the following use to be issued based on the information contained within this application. The applicant hereby certifies that all information and attachments to this application are true & correct and agrees to follow all applicable regulations.

Applicant's Signature: _____

Date: 8 / 18 / 2025

OFFICE USE ONLY:

Date Received in Office: _____ / _____ / _____ By: _____

Permit was Approved Issued on Date: _____ / _____ / _____

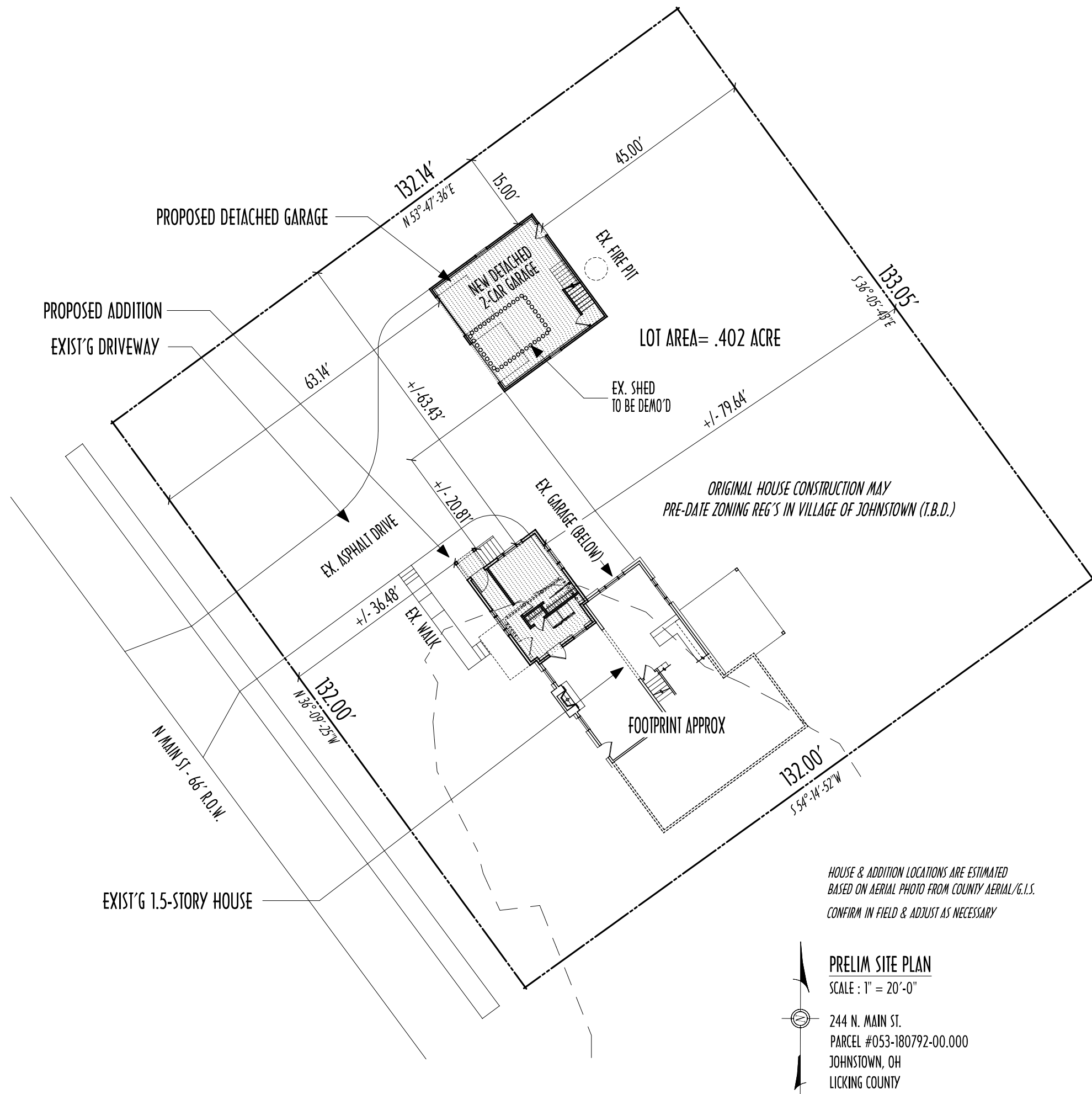
Permit was Denied on Date: _____ / _____ / _____

Zoning Code Enforcement Official: x _____
or City Manager.

Additional comments or requirements:

9/4/2025 NEDS DMB FRM , THOUGHT N6601

no further information



HOUSE & ADDITION LOCATIONS ARE ESTIMATED
BASED ON AERIAL PHOTO FROM COUNTY AERIAL/G.I.S.
CONFIRM IN FIELD & ADJUST AS NECESSARY

PRELIM SITE PLAN

SCALE : 1" = 20'-0"

244 N. MAIN ST.
PARCEL #053-180792-00.000
JOHNSTOWN, OH
LICKING COUNTY

SEE ROOF PLAN FOR SOFFIT & RAKE SIZES

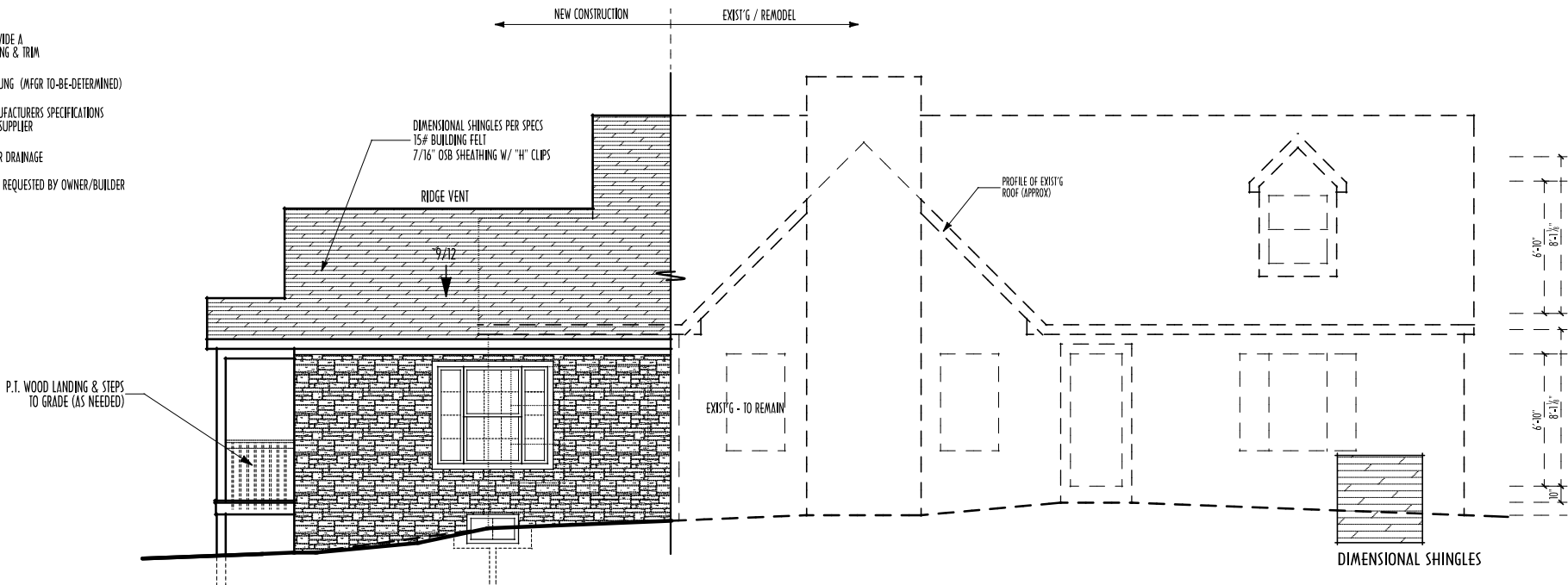
FLASH & CAULK ELEVATIONS AS NECESSARY TO PROVIDE A WEATHER-TIGHT SEAL BETWEEN MATERIALS, FRAMING & TRIM

WINDOW TYPE & MANUFACTURER: VINYL SINGLE-HUNG (MFGR TO-BE-DETERMINED)

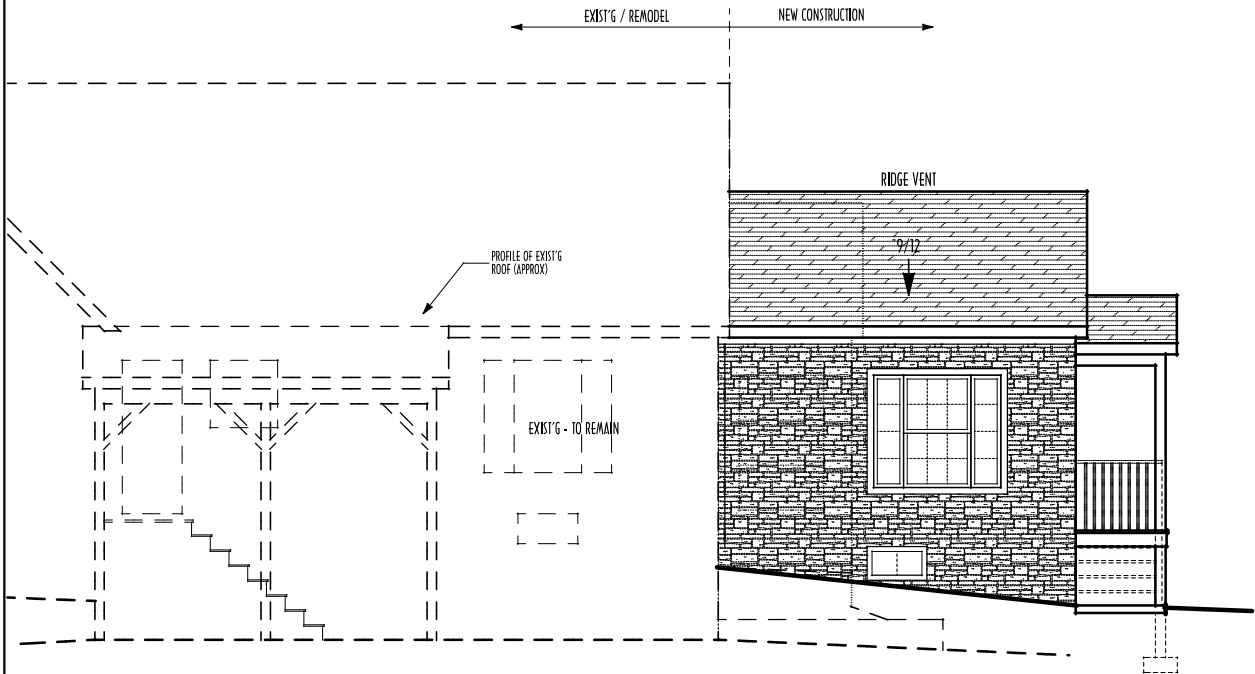
WINDOWS & DOORS ARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS
CONFIRM WINDOW SIZES & ROUGH-OPENINGS WITH SUPPLIER

SLOPE GRADE AWAY FROM FOUNDATION FOR PROPER DRAINAGE

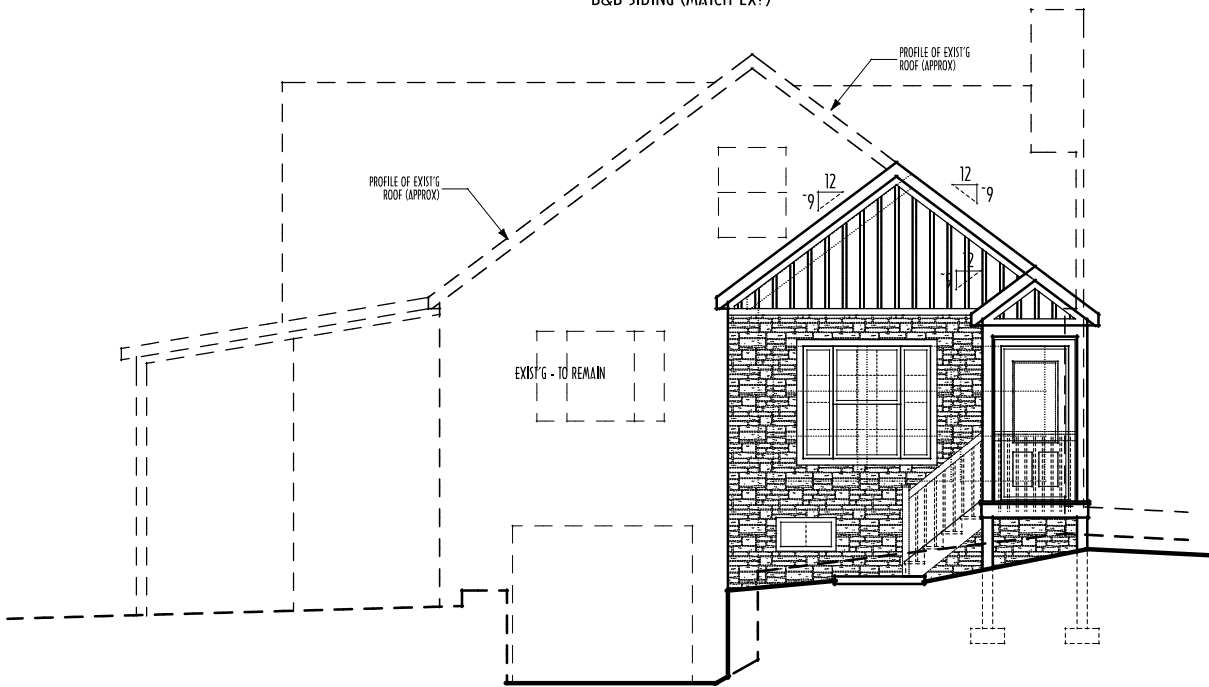
ALL EXTERIOR TRIM TO BE VINYL, UNLESS NOTED OR REQUESTED BY OWNER/BUILDER



FRONT (SOUTH) ELEVATION
SCALE : 3/16" = 1'-0"



BACK (NORTH) ELEVATION
SCALE : 3/16" = 1'-0"



LEFT (WEST) ELEVATION
SCALE : 3/16" = 1'-0"

IMPORTANT NOTE: EX ROOF PITCHES ARE BASED ON VISUAL ESTIMATION AND MAY BE SLIGHTLY DIFFERENT FROM NEW ROOF PITCHES

IMPORTANT NOTE: NEW SOFFITS & FASCIAS MAY NOT ALIGN EXACTLY WITH EXISTING DUE TO WALL HGT DIFFERENCES AND OLD/NEW TRUSS ENGINEERING

CONFIRM ALL ROOF PITCHES & WALL HEIGHTS PRIOR TO CONSTRUCTION

IMPORTANT NOTE TO OWNER & ALL CONTRACTORS:

THE ARCHITECT HAS MADE EVERY ATTEMPT TO DOCUMENT ACCURATE & COMPLETE PLANS FOR THIS PROJECT, HOWEVER DUE TO THE AGE & CONDITION OF THE EXISTING STRUCTURE IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO VERIFY AND ADJUST (AS NECESSARY) ALL CONSTRUCTION ACTIVITIES TO MEET THE INTENT OF THE DESIGN AS WELL AS ALL APPLICABLE BUILDING CODES. CONTACT THE ARCHITECT & BUILDER WITH ANY QUESTIONS OR ISSUES PRIOR TO PROCEEDING.

BY ACCEPTING AND USING THESE PLANS, ALL PARTIES AGREE TO HOLD HARMLESS THE ARCHITECT FROM ANY & ALL ERRORS & OMISSIONS.

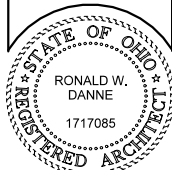
EXIST'G 1ST FLR AREA = +/- 1,247 SQ.FT.
PROPOSED 1st FLR ADDITION = 321 SQ.FT.
NEW TOTAL 1ST FLR AREA = 1,568 SQ.FT.

ELEVATIONS

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Danne
Residential Design & Drafting LLC

A Remodel & Addition to a Single-Family Home
The Hartfield Residence
244 N. Main St, Johnstown Oh



RONALD W. DANNE LICENSE #1717085
EXPIRATION DATE 12/31/2025

Date / Rev	By
2/10/25 & 3/21/25	JF
3/25/25 & 4/14/25	CF
4/28/25 & 4/29/25	jam
..	..
..	..

Page: x of x

MAX. ALLOWABLE SPANS
CEILING JOISTS
SPRUCE/PINE/FIR #2 OR BETTER (REPETITIVE USE)

EXTREME FIBER STRESS IN BENDING $f_b^* = 1100 \text{ psi}$
MODULUS OF ELASTICITY $E^* = 1.4 \text{ MIL PSI}$

NO STORAGE ALLOWED:

2x4 @ 16" ~ MAX. SPAN = 10'-9"
2x4 @ 24" ~ MAX. SPAN = 9'-10"
2x6 @ 16" ~ MAX. SPAN = 16'-11"
2x6 @ 24" ~ MAX. SPAN = 15'-6"
2x8 @ 16" ~ MAX. SPAN = 22'-4"
2x8 @ 24" ~ MAX. SPAN = 20'-1"
2x10 @ 16" ~ MAX. SPAN = n/a
2x10 @ 24" ~ MAX. SPAN = 23'-11"

CANADIAN WOOD COUNCIL - US SPANS FOR CANADIAN LUMBER GUIDE
AMERICAN SOFTWOOD LUMBER SYND. PS20-99
ITPA GUIDELINES / 2013 RESIDENTIAL CODE OF OHIO

LIMITED ATTIC STORAGE:

2x4 @ 16" ~ MAX. SPAN = 8'-11"
2x4 @ 24" ~ MAX. SPAN = 7'-8"
2x6 @ 16" ~ MAX. SPAN = 13'-6"
2x6 @ 24" ~ MAX. SPAN = 11'-0"
2x8 @ 16" ~ MAX. SPAN = 17'-5"
2x8 @ 24" ~ MAX. SPAN = 14'-2"
2x10 @ 16" ~ MAX. SPAN = 20'-9"
2x10 @ 24" ~ MAX. SPAN = 16'-11"

MAX. ALLOWABLE SPANS
RAFTERS

CEILING APPLIED DIRECTLY TO BOTTOM / REPETITIVE USE

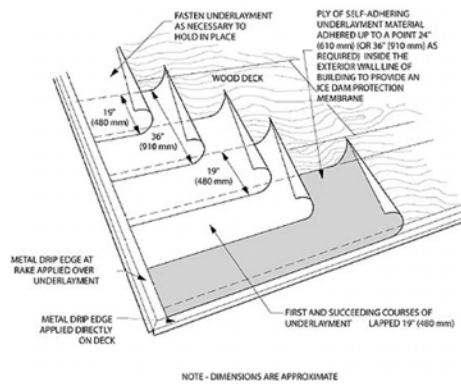
SOUTHERN YELLOW PINE #2

2x4 @ 16" ~ MAX. SPAN = 8'-11"
2x4 @ 24" ~ MAX. SPAN = 7'-5"
2x6 @ 16" ~ MAX. SPAN = 13'-0"
2x6 @ 24" ~ MAX. SPAN = 10'-8"
2x8 @ 16" ~ MAX. SPAN = 16'-10"
2x8 @ 24" ~ MAX. SPAN = 13'-9"
2x10 @ 16" ~ MAX. SPAN = 20'-1"
2x10 @ 24" ~ MAX. SPAN = 16'-5"
2x12 @ 16" ~ MAX. SPAN = 23'-7"
2x12 @ 24" ~ MAX. SPAN = 19'-3"

CANADIAN WOOD COUNCIL - US SPANS FOR CANADIAN LUMBER GUIDE
AMERICAN SOFTWOOD LUMBER SYND. PS20-99
ITPA GUIDELINES / 2013 RESIDENTIAL CODE OF OHIO

SPRUCE/PINE/FIR #2

2x4 @ 16" ~ MAX. SPAN = 8'-6"
2x4 @ 24" ~ MAX. SPAN = 6'-11"
2x6 @ 16" ~ MAX. SPAN = 12'-5"
2x6 @ 24" ~ MAX. SPAN = 10'-2"
2x8 @ 16" ~ MAX. SPAN = 15'-9"
2x8 @ 24" ~ MAX. SPAN = 12'-10"
2x10 @ 16" ~ MAX. SPAN = 19'-3"
2x10 @ 24" ~ MAX. SPAN = 15'-8"
2x12 @ 16" ~ MAX. SPAN = 22'-4"
2x12 @ 24" ~ MAX. SPAN = 18'-3"



PROVIDE ICE-DAM PROTECTION @ EAVES USING 2 LAYERS OF OVERLAPPED UNDERLAYMENT CEMENTED TOGETHER UNDER SHINGLES EXTENDING IN MIN. 24" FROM OUTSIDE OF WALL BELOW

NOTE: ROOF SLOPES LESS THAN 4 IN 12 SHALL HAVE MIN. (2) LAYERS OF #15 FELT PARALLEL TO EAVES, WITH MIN. 19" LAP AT TOP AND MIN. 12" END LAP, WITH MIN. 72" BETWEEN ROWS OF END LAPS
- OR - INSTALLED PER SHINGLE MANUFACTURER'S SPECIFICATIONS FOR COLD-WEATHER LOW-SLOPE CONDITIONS

IMPORTANT NOTE: EX ROOF PITCHES ARE BASED ON VISUAL ESTIMATION AND MAY BE SLIGHTLY DIFFERENT FROM NEW ROOF PITCHES

IMPORTANT NOTE: NEW SOFFITS & FASCIAS MAY NOT ALIGN EXACTLY WITH EXISTING DUE TO WALL HG'T DIFFERENCES AND OLD/NEW TRUSS ENGINEERING

CONFIRM ALL ROOF PITCHES & WALL HEIGHTS PRIOR TO CONSTRUCTION

ALL RIDGE BEAMS & HIP RAFTER DEPTHS ARE TO BE NOT LESS THAN DEPTH OF END CUT OF RAFTER

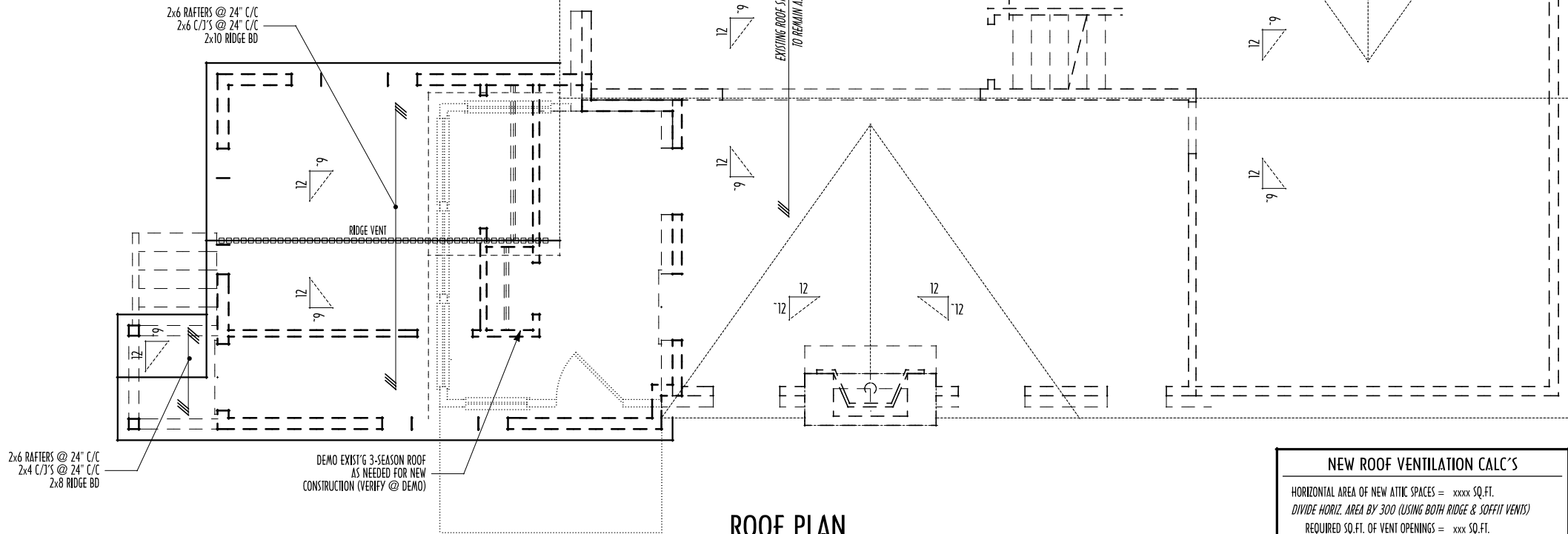
ALL RAFTERS & OTHER CONVENTIONAL ROOF FRAMING LUMBER IS TO COMPLY WITH SPAN TABLES ABOVE

MIN. 2X6 VALLEY PLATE ON ROOF SHEATHING NAIL THRU TO RAFTERS/TRUSSES BELOW

ALL EXTERIOR WALLS CAN BE CONSIDERED LOADBEARING. DO NOT BEAR RAFTERS ON INTERIOR WALLS UNLESS NOTED AS "ABLE TO LOADBEAR" ON PLANS

PROVIDE APPROPRIATE FLASHING/WEATHERSEALING FOR ROOF / WALL INTERSECTIONS

PROVIDE APPROPRIATE FIRE-STOPPING IN ALL CONCEALED HORIZONTAL & VERTICAL DRAFT SPACES TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN EACH STORY AND ROOF



ROOF PLAN

SCALE : 1/4" = 1'-0"

FOR REFERENCE ONLY - TRUSS DRAWINGS TO BE ENGINEERED BY TRUSS DESIGNER

TRUSS & FRAMING SHOWN FOR REFERENCE ONLY

ROOF FRAMING CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, ENGINEERING, MANUFACTURING, AND SAFE CONSTRUCTION OF ROOF FRAMING MATERIALS TO ENSURE COMPLIANCE WITH ANY APPLICABLE CODE REQUIREMENTS REGARDING ALLOWABLE SPANS, ACCEPTABLE MATERIALS, AND BUILDING SAFETY.

NEW ROOF VENTILATION CALC'S

HORIZONTAL AREA OF NEW ATTIC SPACES = xxxx SQ.FT.
DIVIDE HORIZ. AREA BY 300 (USING BOTH RIDGE & SOFFIT VENTS)
REQUIRED SQ.FT. OF VENT OPENINGS = xxx SQ.FT.
ACTUAL LINEAR FT. OF RIDGE VENT (xx) = xx LF x .11 PER = xx SQ.FT.
ACTUAL SQ.FT. OF SOFFIT VENT (MIN xx) = xxx x .25 = xx SQ.FT.
ACTUAL TOTAL SQ.FT. OF VENTS = xxx SQ.FT.

EXIST'G 1ST FLR AREA = +/- 1,247 SQ.FT.
PROPOSED 1st FLR ADDITION = 321 SQ.FT.
NEW TOTAL 1ST FLR AREA = 1,568 SQ.FT.

IMPORTANT NOTE TO OWNER & ALL CONTRACTORS:

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BY ACCEPTING AND USING THESE PLANS, ALL PARTIES AGREE TO HOLD HARMLESS THE ARCHITECT FROM ANY & ALL ERRORS & OMISSIONS.

ROOF

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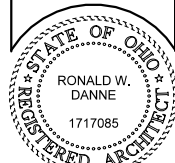
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Danne
Residential Design & Drafting LLC

A Remodel & Addition to a Single-Family Home

The Hartfield Residence

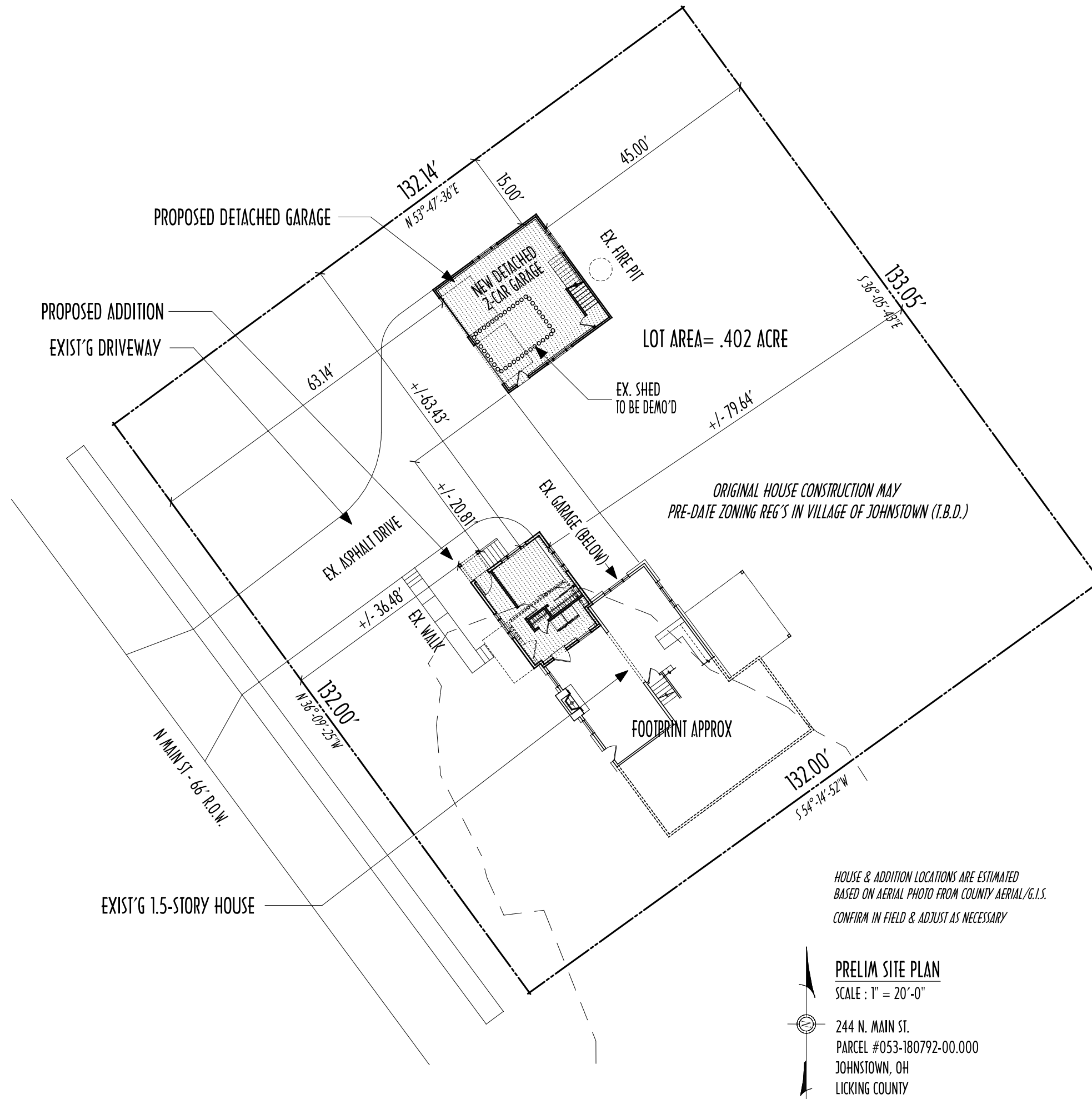
244 N. Main St, Johnstown Oh



RONALD W. DANNE LICENSE #07085
EXPIRATION DATE 12/31/2025

Date / Rev	By
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3/23/25 6:41/25	CF
4/28/25 6:42/25	jam
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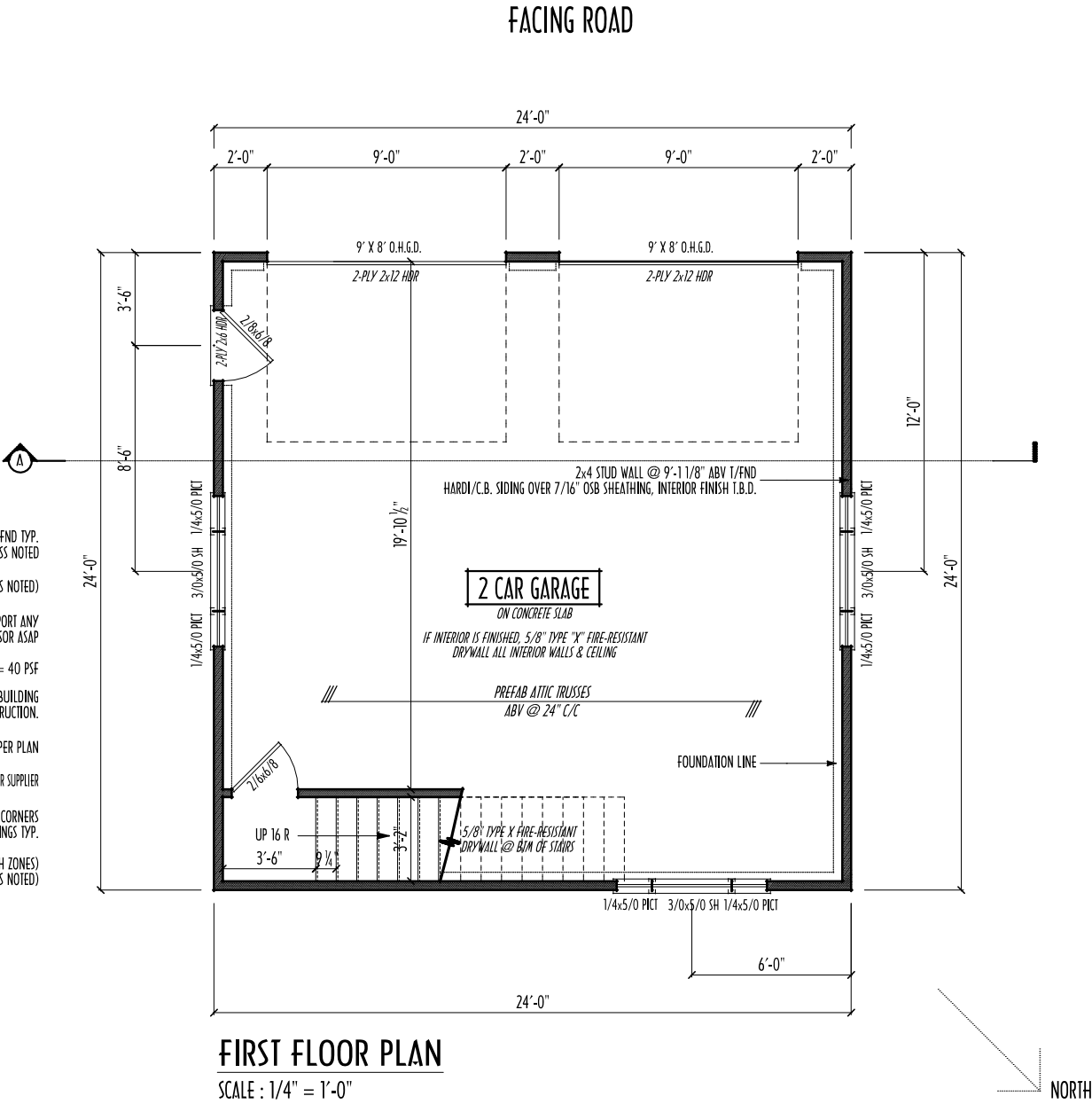
Page: x of x



Revisions	By:	jam
5/12/25	5/27/25	jam
6/2/25	6/16/25	jam
7/15/25		jam
...		...
...		...

PRELIMINARY DESIGN - NOT FOR CONSTRUCTION

FIRST FLOOR WALLS AT 9'-1 1/8" ABV 1/FND TYP.
FIRST FLOOR WINDOW/DOOR HEADERS AT 7'-6" ABV FLOOR UNLESS NOTED
EXTERIOR WALLS ARE SHOWN 4" WIDE (2x4 STUDS @ 16" O/C UNLESS NOTED)
CONTRACTORS TO SITE VERIFY ALL DIMENSIONS AND REPORT ANY
DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP
FIRST FLOOR DESIGN LIVE LOAD = 40 PSF
ALL CONSTRUCTION IS TO CONFORM TO THE APPROPRIATE BUILDING
CODE FOR THE LOCATION OF CONSTRUCTION.
WINDOW TYPE/MANUFACTURER : VINYL SINGLE/DBL-HUNG & PICT PER PLAN
CONFIRM WINDOW ROUGH-OPENINGS AND HEADER HGT'S W/ MANUFACTURER OR SUPPLIER
ALL DIMENSIONS CORRESPOND TO EITHER CENTERLINES OR CORNERS
OF WOOD FRAMING LENGTHS (OUTSIDE OF SHEATHING) OR OPENINGS TYP.
BLOCK BETWEEN FLOORJOISTS BELOW STRUCTURAL POINTS (CRUSH ZONES)
BRACE FLOORJOISTS AT MIDSPAN PER CODE (EXCEPT I-JOISTS UNLESS NOTED)

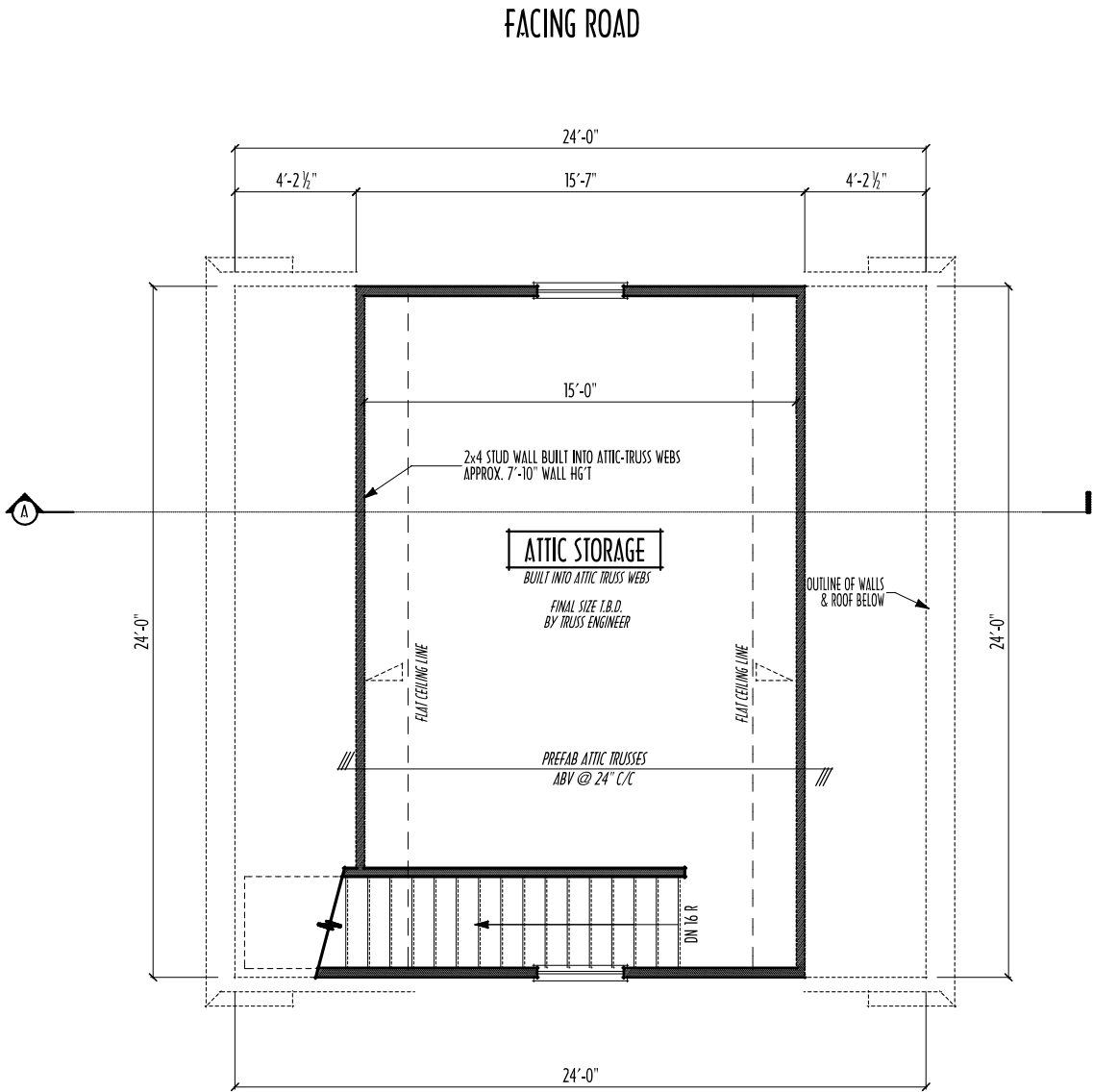


FIRST FLOOR PLAN
SCALE : 1/4" = 1'-0"

GARAGE AREA = 576 SQ.FT.
OPT. ATTIC STORAGE AREA= 312 SQ.FT.

IMPORTANT NOTE TO OWNER & ALL CONTRACTORS:
THE ARCHITECT HAS MADE EVERY ATTEMPT TO DOCUMENT ACCURATE & COMPLETE PLANS FOR THIS PROJECT.
HOWEVER, DUE TO THE AGE & CONDITION OF THE EXISTING STRUCTURE IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO
VERIFY AND ADJUST (AS NECESSARY) ALL CONSTRUCTION ACTIVITIES TO MEET THE INTENT OF THE DESIGN AS WELL AS
ALL APPLICABLE BUILDING CODES. CONTACT THE ARCHITECT, OWNER & BUILDER WITH ANY QUESTIONS OR ISSUES PRIOR TO PROCEEDING.
BY ACCEPTING AND USING THESE PLANS, ALL PARTIES AGREE TO HOLD HARMLESS THE ARCHITECT FROM ANY & ALL ERRORS & OMISSIONS.

SECOND FLOOR CEILINGS AT 9'-1 1/8" ABV FLOOR UNLESS NOTED
SECOND FLOOR WINDOW/DOOR HEADERS AT 7'-6" ABV FLOOR UNLESS NOTED
EXTERIOR WALLS ARE SHOWN 4" WIDE (2x4 STUDS @ 16" O/C UNLESS NOTED)
INTERIOR WALLS ARE SHOWN 3.5" WIDE (2x4 STUDS @ 16" O/C UNLESS NOTED)
CONTRACTORS TO SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP
FIRST FLOOR DESIGN LIVE LOAD = 40 PSF
ALL CONSTRUCTION IS TO CONFORM TO THE APPROPRIATE BUILDING CODE FOR THE LOCATION OF CONSTRUCTION.
WINDOW TYPE/MANUFACTURER : VINYL SINGLE-HUNG & PICT PER PLAN
CONFIRM WINDOW ROUGH-OPENINGS AND HEADER HGT'S W/ MANUFACTURER OR SUPPLIER
ALL DIMENSIONS CORRESPOND TO EITHER CENTERLINES OR CORNERS OF WOOD FRAMING LENGTHS (OUTSIDE OF SHEATHING) OR OPENINGS TYP.
AVOID FLOORJOISTS LOCATED DIRECTLY BELOW PLUMBING DRAINS OR FLUES
BLOCK BETWEEN FLOORJOISTS BELOW STRUCTURAL POINTS (CRUSH ZONES)
BRACE FLOORJOISTS AT MIDSPAN PER CODE (EXCEPT I-JOISTS UNLESS NOTED)
INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED OTHERWISE
NOTE: DIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS OF LESS THAN 1/8" TYPICALLY
FOAM PLASTIC/INSULATION SHALL BE INSTALLED PER RCO 314 & 315 (<75 PSF, <450 SDR PER ASTM E84)



SECOND FLOOR PLAN
SCALE : 1/4" = 1'-0"

PRELIMINARY DESIGN - NOT FOR CONSTRUCTION

A New Detached Garage for:
The Hartfield Residence
244 N. Main St, Johnstown Oh



RONALD W. DANNE LICENSE #1717085
EXPIRATION DATE 12/31/2025

Revisions	By:
5/12/25 & 5/27/25	jdm
6/2/25 & 6/16/25	jdm
7/15/25	jdm
...	...
...	...

Page:

GARAGE AREA = 576 SQ.FT.
OPT. ATTIC STORAGE AREA= 312 SQ.FT.

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Danne
Residential Design & Drafting LLC

builder t.b.d.

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Residential Design & Drafting LLC

builder t.b.d.

A New Detached Garage for:
The Hartfield Residence
244 N. Main St, Johnstown Oh

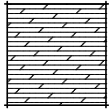


RONALD W. DANNE LICENSE #1717085
EXPIRATION DATE 12/31/2025

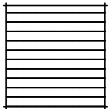
Revisions	By:	Date
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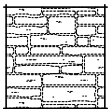
PRELIMINARY DESIGN - NOT FOR CONSTRUCTION



SHINGLE ROOFING (MATCH EXIST'G A.C.A.P.)



HORIZ LAP SIDING (MATCH EXIST'G A.C.A.P.)



STONE VENEER (MATCH EXIST'G A.C.A.P.)

SEE ROOF PLAN FOR SOFFIT & RAKE SIZES

FLASH & CAULK ELEVATIONS AS NECESSARY TO PROVIDE A WEATHER-TIGHT SEAL BETWEEN MATERIALS, FRAMING & TRIM

WINDOW TYPE & MANUFACTURER: VINYL DBL-HUNG (MFR TO-BE-DETERMINED)

WINDOWS & DOORS ARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS
CONFIRM WINDOW SIZES & ROUGH-OPENINGS WITH SUPPLIER

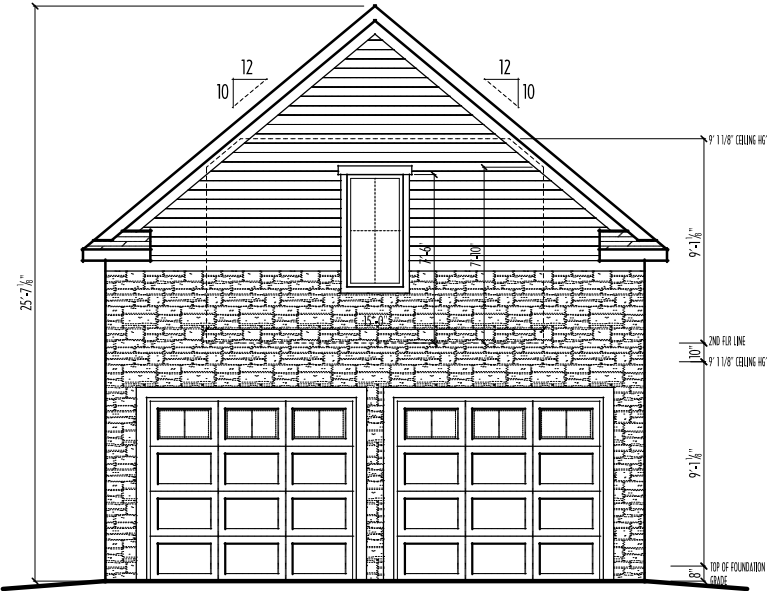
SLOPE GRADE AWAY FROM FOUNDATION FOR PROPER DRAINAGE

ALL EXTERIOR TRIM TO BE C.B., UNLESS NOTED OR REQUESTED BY OWNER/BUILDER

FINAL WINDOW DESIGN PER PROVIDER, ALL FRAMING ROUGH-OPENINGS TO BE BASED ON FINAL LAYOUT ONLY

EXACT WINDOW & DOOR GRID PATTERNS (MULLIONS) MAY DIFFER - REFER TO MANUFACTURER OR SUPPLIER

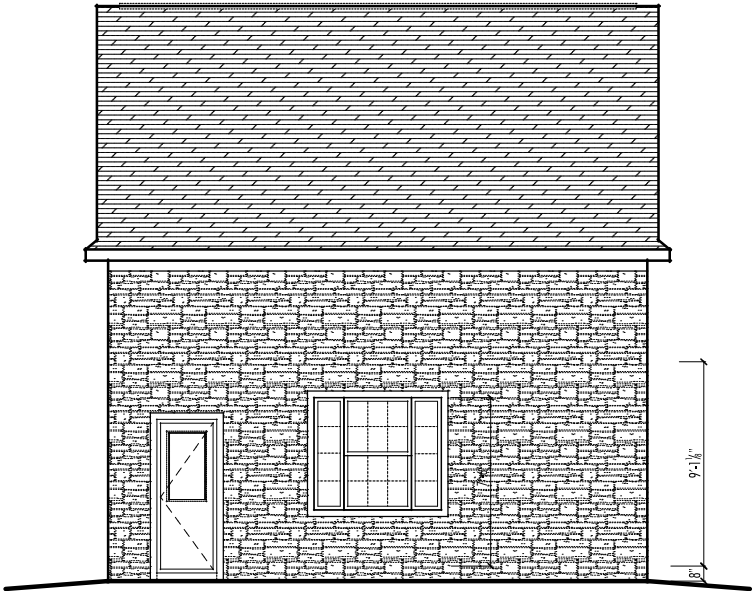
GRADE ELEVATION SHOWN IS APPROXIMATE
FIELD VERIFY & ADJUST FOUNDATION AS NECESSARY



FRONT (SOUTHWEST) ELEVATION

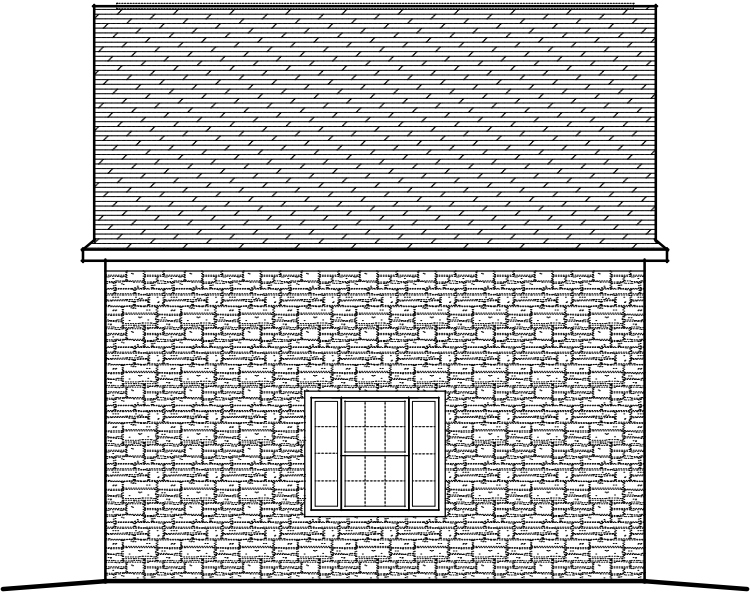
SCALE : 3/16" = 1'-0"

FACING ROAD



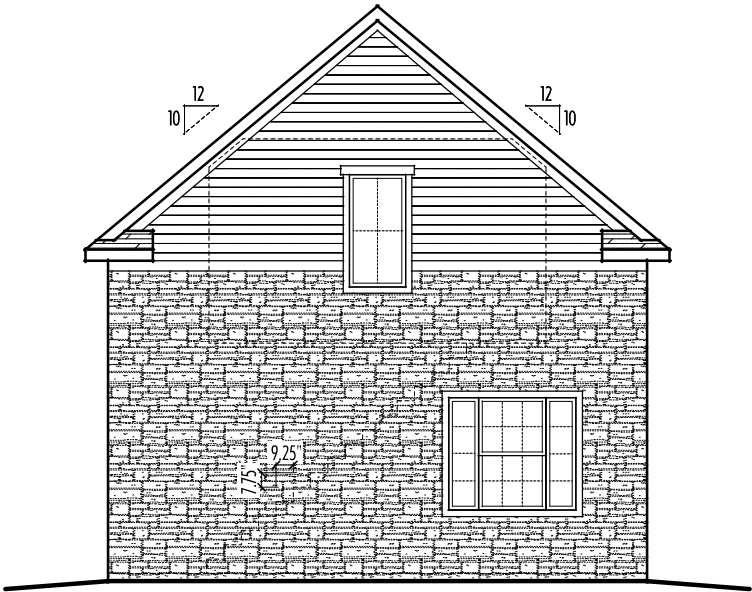
RIGHT (SOUTHEAST) ELEVATION

SCALE : 3/16" = 1'-0"



LEFT (NORTHWEST) ELEVATION

SCALE : 3/16" = 1'-0"



BACK (NORTHEAST) ELEVATION

SCALE : 3/16" = 1'-0"

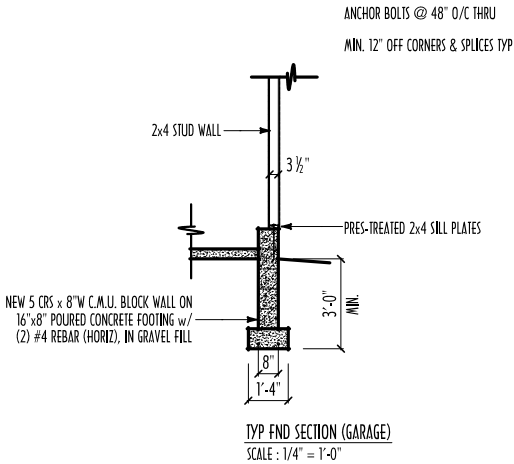
IMPORTANT NOTE: EX ROOF PITCHES ARE BASED ON VISUAL ESTIMATION AND MAY BE SLIGHTLY DIFFERENT FROM NEW ROOF PITCHES

CONFIRM ALL ROOF PITCHES & WALL HEIGHTS PRIOR TO CONSTRUCTION

IMPORTANT NOTE TO OWNER & ALL CONTRACTORS:

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GARAGE AREA = 576 SQ.FT.
OPT. ATTIC STORAGE AREA= 312 SQ.FT.



GRADE MIN. 8" BELOW TOP OF FOUNDATION, SLOPING AWAY FOR PROPER
DRAINAGE MIN. 6" DROP IN FIRST 10FT OF RUN

WATERPROOFING / DAMPROOFING PER LOCAL CODE

CONTRACTORS SITE VERIFY ALL DIMENSIONS AND REPORT
ANY DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP

FIRST FLOOR DESIGN LIVE LOAD = 40 PSF

STEP DOWN FOOTING AS NECESSARY PER SITE
CONDITIONS TO REMAIN BELOW LOCAL FROST LINE (MIN 36")

ALL FOOTINGS DESIGNED USING AN ASSUMED MIN SOIL BEARING
CAPACITY OF 1500 PSF. VERIFY WITH SITE CONDITIONS AS REQUIRED

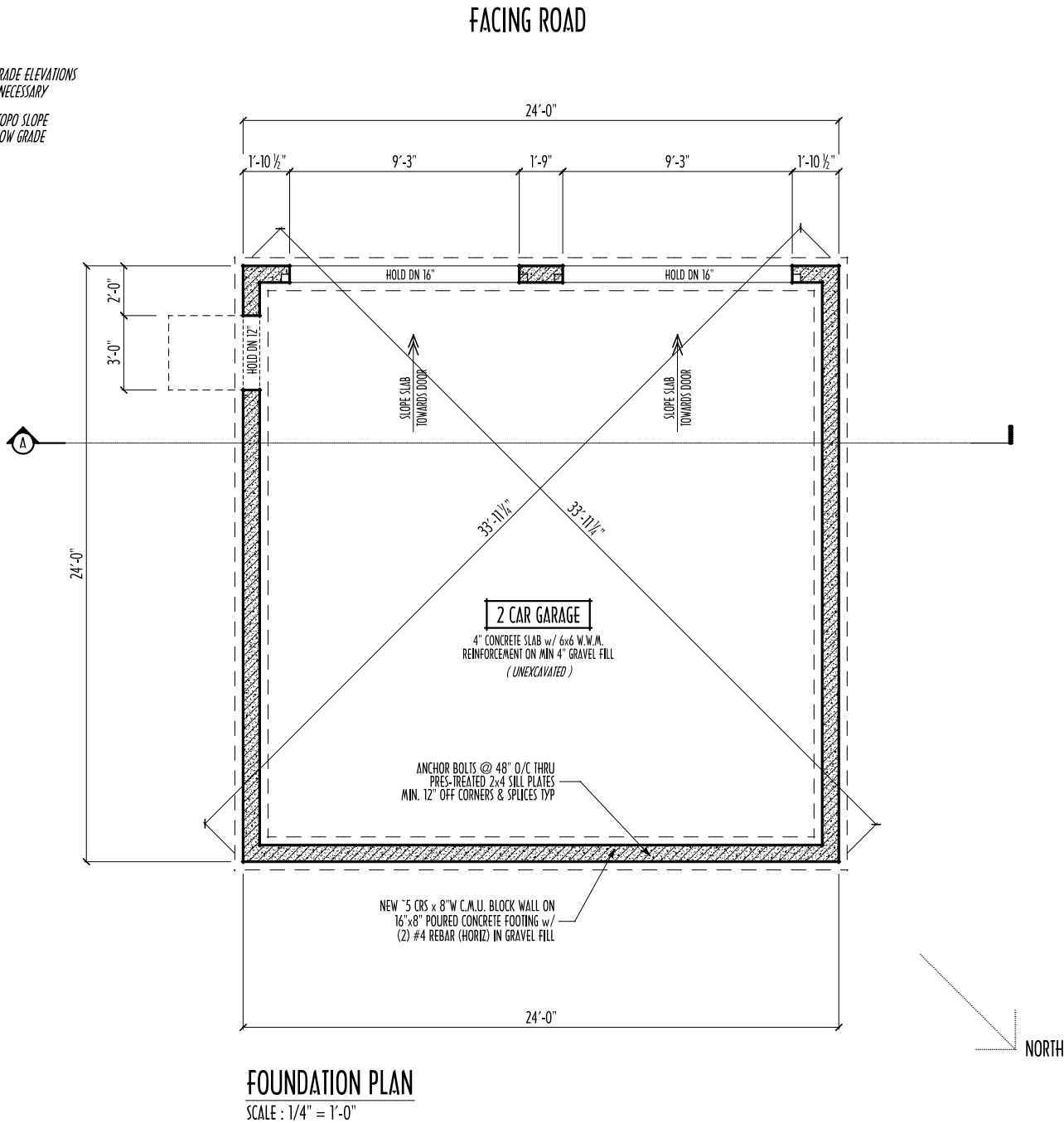
SEE COVER SHEET FOR GENERAL FOUNDATION CONSTRUCTION NOTES

USE PRES-TREATED EXTERIOR-GRADE LUMBER WHERE
EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE

ALL FOUNDATION WALL ENGINEERING & REBAR REINFORCEMENT IS TO FOLLOW
CODE-MINIMUM OR BETTER REQUIREMENTS, UNLESS DESIGNED OTHERWISE BY AN ENGINEER

VERIFY EXISTING & PROPOSED GRADE ELEVATIONS
AND ADJUST IN FIELD AS NECESSARY

STEP-DOWN FOOTING @ TOPO SLOPE
TO REMAIN MIN. 36" BELOW GRADE

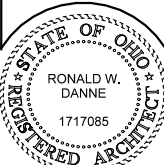


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PRELIMINARY DESIGN - NOT FOR CONSTRUCTION

A New Detached Garage for:
The Hartfield Residence
244+ N. Main St, Johnstown Oh



RONALD W. DANNE LICENSE #1717085
EXPIRATION DATE 12/31/2025

Revisions	By:	jam
5/12/25	5/27/25	jam
6/2/25	6/16/25	jam
7/15/25		jam
...		...
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Page: 2 of 7

builder t.b.d.

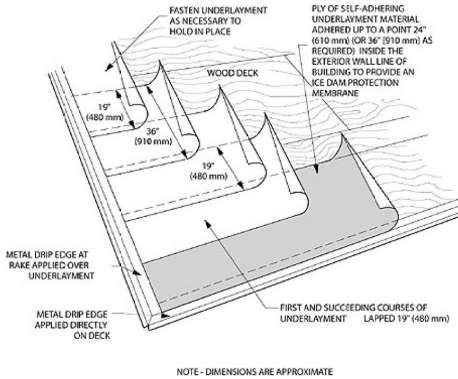
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Residential Design & Drafting LLC

MAX. ALLOWABLE SPANS	
RAFTERS	
CEILING APPLIED DIRECTLY TO BOTTOM / REPETITIVE USE	
SOUTHERN YELLOW PINE #2	SPRUCE/PINE/FIR #2
2x4 @ 16" ~ MAX. SPAN = 8'-11"	2x4 @ 16" ~ MAX. SPAN = 8'-6"
2x4 @ 24" ~ MAX. SPAN = 7'-5"	2x4 @ 24" ~ MAX. SPAN = 6'-11"
2x6 @ 16" ~ MAX. SPAN = 13'-0"	2x6 @ 16" ~ MAX. SPAN = 12'-5"
2x6 @ 24" ~ MAX. SPAN = 10'-8"	2x6 @ 24" ~ MAX. SPAN = 10'-2"
2x8 @ 16" ~ MAX. SPAN = 16'-10"	2x8 @ 16" ~ MAX. SPAN = 15'-9"
2x8 @ 24" ~ MAX. SPAN = 13'-9"	2x8 @ 24" ~ MAX. SPAN = 12'-10"
2x10 @ 16" ~ MAX. SPAN = 20'-1"	2x10 @ 16" ~ MAX. SPAN = 19'-3"
2x10 @ 24" ~ MAX. SPAN = 16'-5"	2x10 @ 24" ~ MAX. SPAN = 15'-8"
2x12 @ 16" ~ MAX. SPAN = 23'-7"	2x12 @ 16" ~ MAX. SPAN = 22'-4"
2x12 @ 24" ~ MAX. SPAN = 19'-3"	2x12 @ 24" ~ MAX. SPAN = 18'-3"
CANADIAN WOOD COUNCIL - US SPANS FOR CANADIAN LUMBER GUIDE AMERICAN SOFTWOOD LUMBER SPEC. PS20-99 FPA GUIDELINES / 2013 RESIDENTIAL CODE OF OHIO	

MAX. ALLOWABLE SPANS	
CEILING JOISTS	
SPRUCE/PINE/FIR #2 OR BETTER (REPETITIVE USE)	
EXTREME FIBER STRESS IN BENDING $f_b^* = 1100+ \text{ PSI}$ MODULUS OF ELASTICITY $E^* = 1.4 \text{ MIL. PSI}$	
NO STORAGE ALLOWED:	LIMITED ATTIC STORAGE:
2x4 @ 16" ~ MAX. SPAN = 10'-3"	2x4 @ 16" ~ MAX. SPAN = 8'-11"
2x4 @ 24" ~ MAX. SPAN = 9'-10"	2x4 @ 24" ~ MAX. SPAN = 7'-8"
2x6 @ 16" ~ MAX. SPAN = 16'-11"	2x6 @ 16" ~ MAX. SPAN = 13'-6"
2x6 @ 24" ~ MAX. SPAN = 15'-6"	2x6 @ 24" ~ MAX. SPAN = 11'-0"
2x8 @ 16" ~ MAX. SPAN = 22'-4"	2x8 @ 16" ~ MAX. SPAN = 17'-5"
2x8 @ 24" ~ MAX. SPAN = 20'-1"	2x8 @ 24" ~ MAX. SPAN = 14'-2"
2x10 @ 16" ~ MAX. SPAN = n/a	2x10 @ 16" ~ MAX. SPAN = 20'-9"
2x10 @ 24" ~ MAX. SPAN = 23'-11"	2x10 @ 24" ~ MAX. SPAN = 16'-11"
CANADIAN WOOD COUNCIL - US SPANS FOR CANADIAN LUMBER GUIDE AMERICAN SOFTWOOD LUMBER SPEC. PS20-99 FPA GUIDELINES / 2013 RESIDENTIAL CODE OF OHIO	

NEW ROOF VENTILATION CALC'S	
HORIZONTAL AREA OF NEW ATTIC SPACES = xxxxx SQ.FT.	
DIVIDE HORIZ. AREA BY 300 (USING BOTH RIDGE & SOFFIT VENTS)	
REQUIRED SQ.FT. OF VENT OPENINGS = xxx SQ.FT.	
ACTUAL LINEAR FT OF RIDGE VENT (xx) = xx LF x .11 PER = xx SQ.FT.	
ACTUAL SQ.FT. OF SOFFIT VENT (MIN xx) = xxx x .25 = xx SQ.FT.	
ACTUAL TOTAL SQ.FT. OF VENTS = xxx SQ.FT.	



NOTE: PROVIDE ICE-DAM PROTECTION @ EAVES USING 2 LAYERS OF OVERLAPPED UNDERLAYMENT CEMENTED TOGETHER UNDER SHINGLES EXTENDING IN MIN. 24" FROM OUTSIDE OF WALL BELOW

NOTE: ROOF SLOPES LESS THAN 4 IN 12 SHALL HAVE MIN. (2) LAYERS OF #15 FELT PARALLEL TO EAVES, WITH MIN. 19" LAP AT TOP AND MIN. 12" END LAP, WITH MIN. 72" BETWEEN ROWS OF END LAPS
- OR - INSTALLED PER SHINGLE MANUFACTURER'S SPECIFICATIONS FOR COLD-WEATHER LOW-SLOPE CONDITIONS

INFILL & OVERLAY FRAMING:

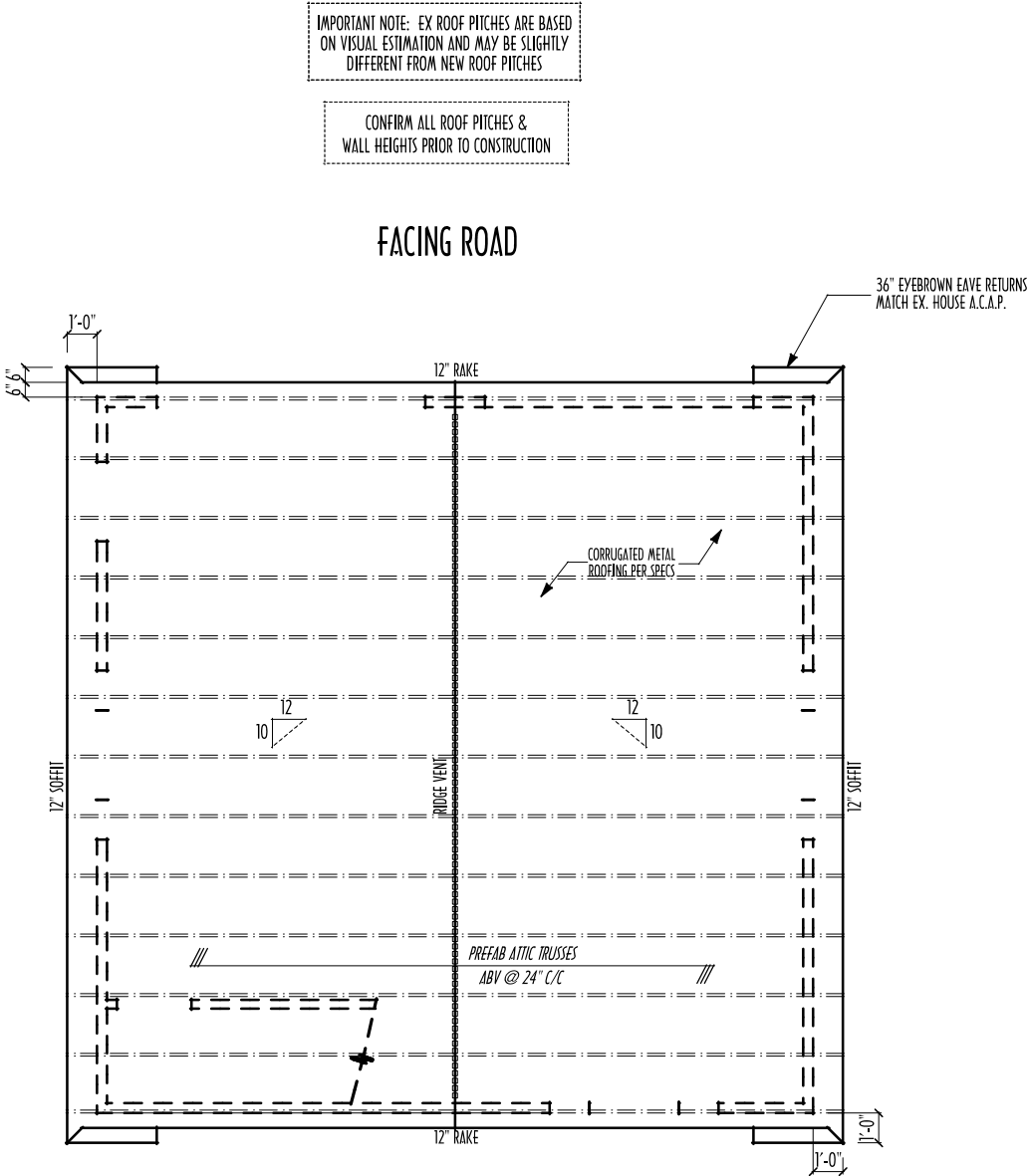
2x6 RAFTERS @ 24" O/C	
2x8 RIDGE BOARDS (OR LVL) PER FRAMING PACKAGE	
BLOCK DOWN TO BEARING WALLS BELOW	
W/ 2-2x4 PURLINS @ 48" O/C WHEREVER POSSIBLE	

ALL RIDGE BEAMS & HIP RAFTER DEPTHS ARE TO BE NOT LESS THAN DEPTH OF END CUT OF RAFTER

ALL RAFTERS & OTHER CONVENTIONAL ROOF FRAMING LUMBER IS TO COMPLY WITH SPAN TABLES ABOVE

MIN. 2x6 VALLEY PLATE ON ROOF SHEATHING NAIL THRU TO RAFTERS/TRUSSES BELOW

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ROOF PLAN

SCALE : 1/4" = 1'-0"

FOR REFERENCE ONLY - TRUSS DRAWINGS TO BE ENGINEERED BY TRUSS DESIGNER

ALL EXTERIOR WALLS CAN BE CONSIDERED LOADBEARING. DO NOT BEAR RAFTERS ON INTERIOR WALLS UNLESS NOTED AS "ABLE TO LOADBEAR" ON PLANS

PROVIDE APPROPRIATE FLASHING/WEATHERSEALING FOR ROOF / WALL INTERSECTIONS

PROVIDE APPROPRIATE FIRE-STOPPING IN ALL CONCEALED HORIZONTAL & VERTICAL DRAFT SPACES TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN EACH STORY AND ROOF

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ROOF

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