



Design Review Board Meeting
Tuesday, March 26, 2024 - 5:00 PM
AGENDA

1. Call to Order
2. Roll Call
3. Public Comment on items not on the agenda
4. Approval of Minutes
 - a. March 12, 2024
5. Tabled Applications
 - a. Application # 2-12-1 Sign Permit; 28 B S. Main Street
6. Application # 3-12-1 Commercial Demolition Permit; 292 S. Main Street (barn behind Youth for Christ)
 - a. Application
7. Application # 3-18-5 Certificate of Appropriateness/Design Plan; 105 Jersey Street
 - a. Application
8. Other Business
9. Adjourn



Design Review Board
Tuesday, March 12, 2024 - 5:00 PM
MINUTES

1. Call to Order

Board Chair Heather Green called the Design Review Board to order for March 12, 2024 at 5:06 pm

2. Roll Call

Present - Heather Green, Candice Evans, Josh Harrison, Franz Stein, Andrew Hale, Craig Bohning
Absent - None

Staff present - Sean Staneart - City Manager, Dave Selan - City Council, Teresa Monroe - Clerk of Council

Public present - Conrad Sokolowski, Toby Smith, Tania Priest, Aaron Kopchak - Aarons 81 Demolition

3. Public Comment

No comments

4. Approval of Minutes

a. February 13, 2024

One correction noted, clerk to correct.

ACTION: Josh Harrison moved to approve with the correction; Heather Green seconded and all were in favor.

AYES: Heather Green, Candice Evans, Josh Harrison, Franz Stein, Andrew Hale, Craig Bohning

NOES: None

ABSTAIN: None

Passed 6 - 0

5. Application # 2-12-1 Sign Permit; 28 B S. Main Street

a. Application

Applicant Conrad Sokolowski was present, he proposes to install a wall sign for his downtown business. He said he would be using 3D metallic gray lettering with the business name "Garage Sale 24/7". He presented two material samples, a metal store bought and a 3D printed composite. He said he plans to affix the letters separately and directly to the building wall.

Board discussion; concerns expressed were durability and weather resistance of the

letters, affixing the letters directly to the building and that the application stated the sign wording would be more than just the business name. The applicant said the other wording should be struck, the wording on his sign would only be the business name "Garage Sale 24/7". Discussion on modeling his sign after the Crow Works sign, letters to be affixed to a panel or backer board that could then be attached to the wall rather than having so many fasteners with each letter. Board consensus is that the sign design itself is fine, polyurethane lettering is preferred, and there is concern for how it is mounted. Further discussion on the scale of the letters and dimension of the sign. Board decision that they would need the applicant to submit a scaled rendering of the sign with dimensions, color and lettering as well as bring final material samples. Applicant agreeable to table the application.

ACTION: Heather Green moved to table; Andrew Hale seconded and the vote was as follows:
AYES: Heather Green, Franz Stein, Craig Bohning, Candice Evans, Andrew Hale, Josh Harrison
NOES: None
ABSTAIN: None

Passed 6 - 0 TABLED

6. Application # 2-19-2 Certificate of Appropriateness; Demolition 165 S. Kasson

a. Application

Tania Priest was present for the application, she says the home will cost too much to repair, they plan to demolish and return the lot to green space, they own an adjacent lot. This home was built in 1880, the board expressed a concern for whether or not this home could have any historical significance. Board questions on any attractive nuisances on the property, the owner said as far as she knows, there are no wells or septic systems. She said there are two new sheds on the back of the property, the wooden one will stay and the metal one will be taken down. The home has a crawl space, applicant said after demo, they will backfill and bring up to grade. Discussion on any viability of the home, owner said that in one room, the ceiling is caving in, foundation is moving around and upstairs floors are sinking and not level. Discussion on the GCC-1 zoning district and how that could affect any future build on the lot. Discussion on the ingress/egress plan and placement for the construction dumpsters.

Public Comment:

1. Dave Selan

- Asked if the owner would think about joining the lots

ACTION: Andrew Hale moved to approve based on the elimination of all attractive nuisance issues, must be returned to turf (green space) and the existing sidewalk/curb and surrounding asphalt is protected and repaired if necessary; Josh Harrison seconded and the vote was as follows:
AYES: Andrew Hale, Josh Harrison, Heather Green, Franz Stein, Craig Bohning

NOES: Candice Evans
ABSTAIN: None

Passed 5 - 1

7. Other Business

1. Andrew Hale asked if there should be some provision for historical data or information on buildings for future decisions on allowing demolition of buildings, he would like to know what they are allowing to be destroyed.
2. Board members expressed that they would also like to have some cost estimates provided from applicants on the restoration or repair costs for future decisions on demo.
3. Discussion on having proper applications for the board to consider, many are submitted without dimensions and color or materials, the board wants to see exactly what they are being asked to approve.
4. Discussion on recommendations to council and what the process looks like, the desire of the board to be involved in the Design Guidelines and the purpose of the Design Review Board. Council member Dave Selan joined the discussion on the Design Guideline process. A collective concern from the board that they do not have the proper tools to effectively review and make decisions on applications. Mr. Hale suggests that they each put together the five most critical things that they feel they need in front of them, what are the things they see the most often that they aren't feeling prepared for and how to approach them.
5. The board inquired on the status of the NAPA building, they saw the scaffolding was removed. Mr. Stanearth said that the application was approved with specific colors and painting the entire building, if the applicant is not willing to do that, the building needs to go back to the way it was. The paint on the brick needs to be removed.
6. Discussion on sign and COA fees.
7. Josh Harrison resigned from the Design Review Board effective immediately.

8. Adjourn

ACTION: Andrew Hale moved to adjourn; Heather Green seconded and all were in favor.

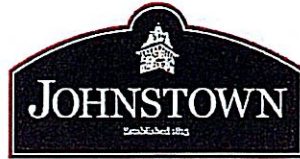
AYES: Heather Green, Candice Evans, Josh Harrison, Franz Stein, Andrew Hale, Craig Bohning

NOES: None

ABSTAIN: None

Passed 6 - 0

Meeting adjourned at 6:49 pm.



P A I D

COMMERCIAL or RESIDENTIAL DEMOLITION PERMIT APP.

Application Number: 3-12-1

Date: 03/12/2024

Fees:

Single Family: \$700 per structure (owner shall be eligible to receive a \$500.00 refund following the Final Inspection to ensure lot space is restored to a green space in a timely manner.)

Non-Single Family: \$1,000 per structure (owner shall be eligible to receive a \$500.00 refund following the Final Inspection to ensure lot space is restored to a green space in a timely manner.)

Total Fee Amount: \$1,000 Paid: \$1,000 Check # /Cash: \$1166

1. Applicant: Central Ohio Youth for Christ E-mail: Ngulyassy@coyfc.org
2. Contractor: Nick Gulyassy Property Manager Phone (614) 264-3468
3. Property Address: Behind property 292 south main street Johnstown, Ohio
4. Existing Use of Property: Church Square Footage: 500
5. Estimated Cost of Demolition: \$ 2000.00
6. Proposed Use of Property After Demolition: Green Space UR-1
7. Attach any requested, supplemental, or necessary documentation or information and proof of insurance.

**** The undersigned is applying for a Demolition Permit for the following use to be issued based on the information contained within this application. The applicant hereby certifies that all information and attachments to this application are true & correct and agrees to follow all applicable regulations.*

Applicant's Signature: Nicholas Gulyassy

Date: 03/12/2024

Application will be made to the Zoning Office including the submission of Liability Insurance by the owner/contractor. Upon successful completion of the demolition, the owner shall be eligible to receive a \$500.00 refund following the Final Inspection to ensure lot space is restored to a green space in a timely manner.

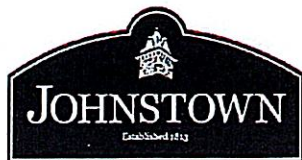
Office Use Only:

Date Received in Office: 3 / 12 / 2024 By: T. Wymer

Date Permit Issued: / / By:

Date of Final Inspection: / / By:

Date of Refund if Applicable: / / By:



CERTIFICATE OF APPROPRIATENESS: CHAPTER #1187

Application Number: 3-4-1 Date: 3/4/2024

FEES:

Base Fee: \$ 300

Total Fee Amount: \$ _____ Paid: Check # _____ Cash: \$ _____

(PLEASE PRINT)

1. Applicant: Central Ohio Youth for Christ Phone: (614) 848 - 4870
2. Property Address: behind 292 south main street City: Johnstown State: Ohio Zip: _____
3. Applicant's E-mail: ngulyassy@coyfc.org
4. Business Owner's Name: Central Ohio Youth for Christ Phone: (614) 848 - 4870
5. Contractor's Name: Nick Gulyassy -Property manager Phone: (614) 264 - 3468
6. Principal Business Activity: Church
7. Existing Use of Property: Church
8. Square Footage of Proposed Building or Business: 800 sq. ft.
9. Zoning District: UR-1 Number of Off-Street Parking Spaces: n/a
10. Estimated Cost of Improvements: \$ Demo - \$3000.00

IN ADDITION, THE FOLLOWING ITEMS MUST ACCOMPANY THIS APPLICATION:

- (Conditional) Eight full sets (11x17) of to scale plans and dimensioned drawings showing the property, with all elevations and the location of existing and proposed buildings and alterations are required. Attach any requested, supplemental or necessary documentation. **(Required only if asked for by the Zoning Inspector.)**

1. Man power
2. Skid loader
3. Dumpsters
- 4.
- 5.
- 6.
- 7.
- 8.

1.	Neighbor's Name	Neighbor's Address	State	Zip Code
2.	Neighbor's Name	Neighbor's Address	State	Zip Code
3.	Neighbor's Name	Neighbor's Address	State	Zip Code
4.	Neighbor's Name	Neighbor's Address	State	Zip Code

Applicant's Signature: x Nick Gulyassy Date: 3 / 4 / 2024

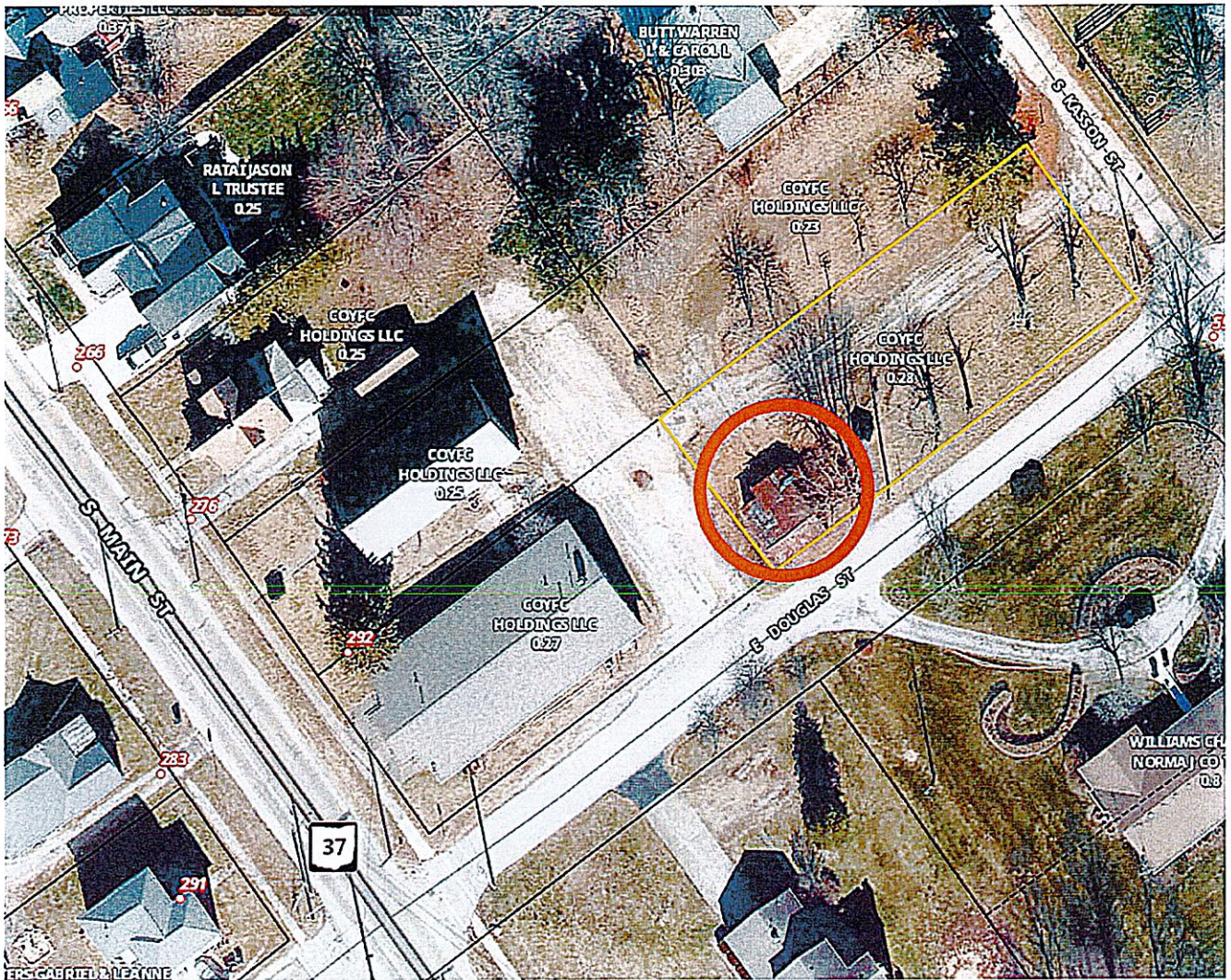
Date Received in Office: 3 / 4 / 2024 By: T. Wymer

Date of Planning and Zoning Commission Meeting: 3 / 26 / 2024

Date Permit Approved or Denied by Planning Commission: ____/____/____

Conditions Necessary for Approval: _____

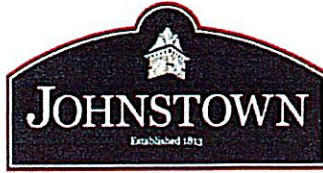
City Manager Signature: x _____











DESIGN PLAN
CERTIFICATE OF APPROPRIATENESS: CHAPTER #1187

Application Number: 3-18-5 Date: 3 / 18 / 24

FEES:

Base Fee: \$ 300

Total Fee Amount: \$ _____ Paid: Check # _____ Cash: \$ _____

(PLEASE PRINT)

1. Applicant: Buddy Dowell Phone: (740) 404 - 7265
2. Property Address: 105 Jersey st City: Johnstown State: Oh Zip: 43031
3. Applicant's E-mail: jhdowell3@gmail.com
4. Business Owner's Name: - Phone: () -
5. Contractor's Name: - Phone: () -
6. Principal Business Activity: -
7. Existing Use of Property: Vacant
8. Square Footage of Proposed Building or Business: 2238 sq. ft.
9. Zoning District: UR-2 Number of Off-Street Parking Spaces: 2
10. Estimated Cost of Improvements: \$ 200,000

IN ADDITION, THE FOLLOWING ITEMS MUST ACCOMPANY THIS APPLICATION:

- (Conditional) Eight full sets (11x17) of to scale plans and dimensioned drawings showing the property, with all elevations and the location of existing and proposed buildings and alterations are required. Attach any requested, supplemental or necessary documentation. **(Required only if asked for by the Zoning Inspector.)**

List of Materials that will be used on the project:

1. metal roof (black) 2. _____
3. vinyl siding (white) 4. _____
5. wood 6. _____
7. concrete 8. _____

List of Contiguous Neighbors and Addresses:

- | | | | |
|----------------------------|--------------------------|-----------|--------------|
| 1. <u>Alicia Hart</u> | <u>119 W Jersey st</u> | <u>Oh</u> | <u>43031</u> |
| Neighbor's Name | Neighbor's Address | State | Zip Code |
| 2. <u>Patricia Baker</u> | <u>95 Jersey st</u> | <u>Oh</u> | <u>43031</u> |
| Neighbor's Name | Neighbor's Address | State | Zip Code |
| 3. <u>Sharon Alexander</u> | <u>217 S Williams st</u> | <u>Oh</u> | <u>43031</u> |
| Neighbor's Name | Neighbor's Address | State | Zip Code |
| 4. <u>Markere Cannon</u> | <u>92 Jersey st</u> | <u>Oh</u> | <u>43031</u> |
| Neighbor's Name | Neighbor's Address | State | Zip Code |

The undersigned is applying for a Certificate of Appropriateness Permit for the following use: said permit is to be issued based on the information contained within this application. The applicant hereby certifies that all information and attachments to this application are true & correct and agrees to follow all applicable laws.

Applicant's Signature: x  Date: 03 / 18 / 24

OFFICE USE ONLY:

Date Received in Office: 3 / 18 / 24 By: J. Wymer

Date of Planning and Zoning Commission Meeting: 3 / 26 / 2024

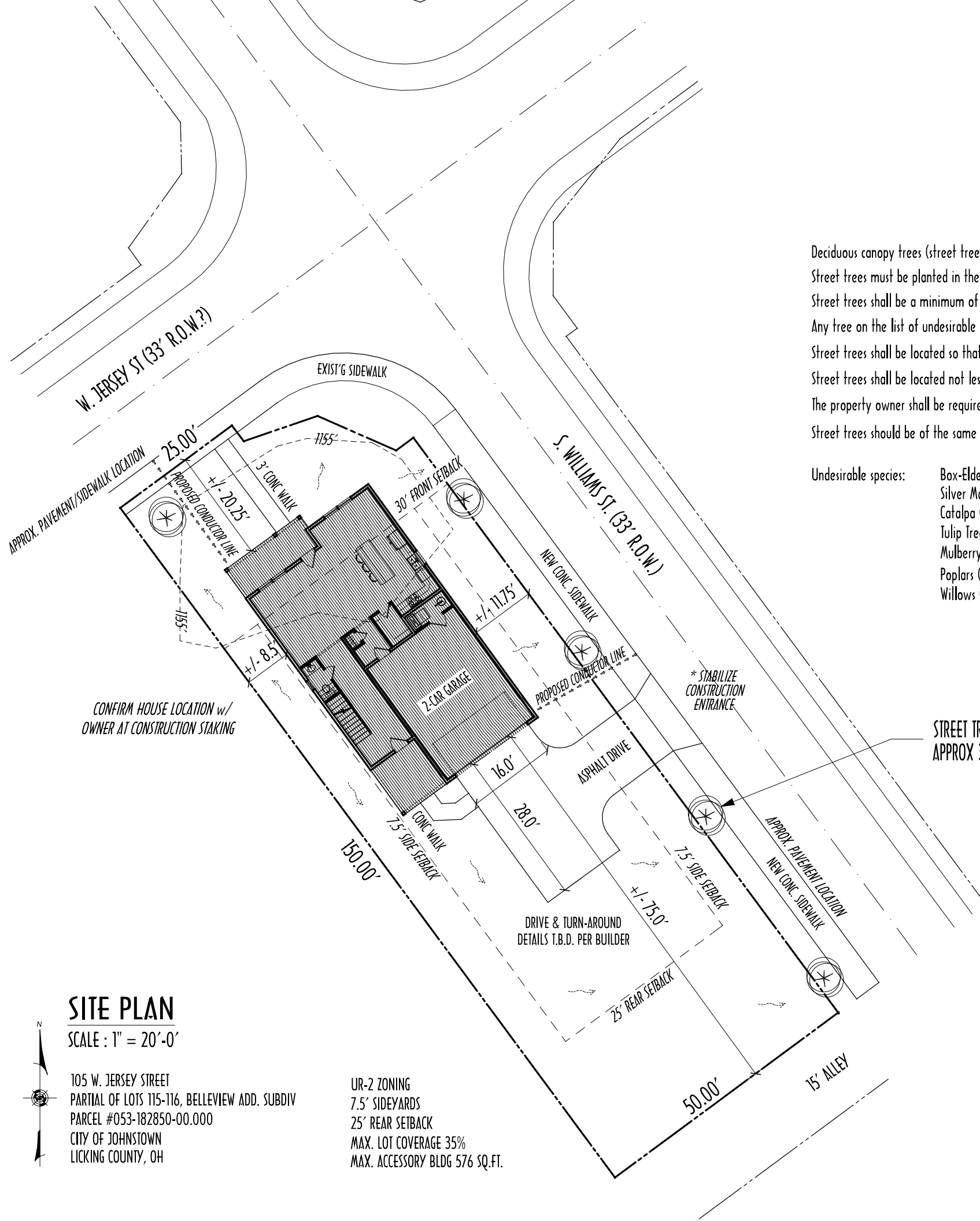
Date Permit Approved or Denied by Planning Commission: / /

Conditions Necessary for Approval: _____

City Manager Signature: x _____

NARRATIVE FOR BUDDY DOWELL ON HIS NEW BUILD AT 105 JERSEY STREET

Buddy was just Approved for a Variance on his lot size and setbacks. He is now pursuing an Approval for his Design Plan / Certificate of Appropriateness for his house.



SITE PLAN

SCALE : 1" = 20'-0'

105 W. JERSEY STREET
PARTIAL OF LOTS 115-116, BELLEVUE ADD. SUBDIV
PARCEL #053-182850-00.000
CITY OF JOHNSTOWN
LICKING COUNTY, OH

UR-2 ZONING
7.5' SIDEYARDS
25' REAR SETBACK
MAX. LOT COVERAGE 35%
MAX. ACCESSORY BLDG 576 SQ.FT.

Deciduous canopy trees (street trees) shall be planted no less than twenty-four (24) feet and no more than thirty-six (36) feet on center

Street trees must be planted in the tree lawn, between the sidewalk or leisure trail and the road pavement. Tree lawns shall be a minimum width of six (6) feet.

Street trees shall be a minimum of three (3) inches caliper (trunk diameter at four and five-tenths (4.5) feet above the ground).

Any tree on the list of undesirable species in Section 1183.14 (below) shall not be planted as street trees.

Street trees shall be located so that a twenty-five (25) foot sight triangle is maintained at street intersections.

Street trees shall be located not less than ten (10) feet from fire hydrants, street lights, and/or utility poles

The property owner shall be required to maintain all street trees for a period of two (2) years after the tree is planted and to replace any tree which dies within such two (2) year period.

Street trees should be of the same genus and species planted continuously along the length of each street.

Undesirable species:

Box-Elder (*Acer negundo*)
Silver Maple (*Acer saccharinum*)
Catalpa (*Catalpa speciosa*)
Tulip Tree (*Liriodendrum tulipifera*)
Mulberry (*Morus alba*)
Poplars (all kinds) (*Populus*)
Willows (all kinds) (*Salix*)

STREET TREE TYP. SEE SPECS ABV
APPROX 36FT SPACING (NO TREELAWN PER SIDEWALK LOCATION)

Framing Notes

All wall studs are spaced 16" c/c UNO with dbl-top plate that overlaps at corners. All roof trusses spaced 24" c/c UNO engineered by others!

Exterior 2x4 walls measured 4"; 2x6 walls measured 6" 1/2" OSB sheathing! Interior 2x4 walls measured 3.5"; 2x6 walls measured 5.5" 1/2" drywall each sidel

Wall bracing: Per APA Guidelines, al exterior walls sheathing is to be min 4x8ft sheets of 1/2" (17/32") oriented-strand board (OSB) overlapping framed rimjoist/ band boards, and nailed every 6" c/c @ outside studs & 12" c/c on interior studs for per APA guidelines! See additional notes for narrow-wall bracing conditions.

All structural lumber min #2 SPF, #2 ICCanadian or better UNO, w/ less than 18% moisture content, and is to be graded & marked with the appropriate grade stamp.

All headers in exterior walls to be sized per floorplan (minimum 2-2x6). Interior non-bearing openings can be 2x4 flat header w/ cripple-studs @ 16" c/c up to top plate.

All framing in contact with concrete or exposed to weathering is to be pressure-treated or equivalent, and all fasteners used in pres-treated lumber must be 3x hot-dipped or galvanized.

Provide in-wall blocking as necessary for toilet accessories & curtain rods, h/c grab-bars, and any other wall attachments as needed. Provide tie blocking in concealed spaces of stud walls & partitions, including soffits & furred spaces, and where wall meets ceilings.

All multiple-ply headers & beams are to be nailed together with min. 2 rows of 16" nide every 12" c/c both top & bottom!

Roof trusses, LVL, and manufactured beams, and all other pre-constructed materials are to be designed & engineered by manufacturer. Any brand names mentioned are for reference only.

Avoid placing floorjoists directly below plumbing drains. Any cuts or holes in joists must not exceed either manufacture's specs nor code allowances.

Use of metal hangers must be in conformance with manufacturer's specifications.

Contractors must site-verify al plan dimensions, and report any discrepancies with the plans to both the job supervisor and residential designer immediately ~ do not continue work without their approval first.

Use AF&PA Span Tables for grades and species not listed in code tables.

Foundation Notes

Soil bearing capacity is assumed to be 1500psi unless otherwise shown by a geotechnical report for this specific site by a registered engineer (provide for permit submittals).

All reinforced concrete must comply with ACI-301-89 "Specifications for Structural Concrete for Buildings". All steel reinforcing bars Fy=60,000 psi.

All poured concrete footings carrying foundation walls are to be minimum 16" wide x 8" deep UNO, (minimum 3000 psi compressive strength) or better.

Step down footings & foundation walls as necessary on sloping sites to maintain minimum frost depths.

Provide perimeter drain piping around exterior of footing w/ silt screening.

All footings are to be placed on undisturbed soil below the appropriate frost line dictated by the county the site is located in. For central Ohio, use:

Delaware County = 36" frost line Franklin County = 34" frost line

To tie together footings of different levels, hold back higher footing and use poured lntels to bridge & tie together, maintaining minimum 8" bearing on each end.

If using CMU (concrete block) walls, follow Section 404 - especially concerning necessary steel reinforcement and allowable backfill height & block walls. It is recommended that contractor employ an engineer to determine exact foundation requirements based on soil characteristics & site conditions.

All foundation corners are to be considered 90 degrees unless noted otherwise.

Waterproof / dampproof basement walls per applicable code requirements.

Horizontal poured concrete slabs (flatwork) are to be air-entrained 4" thick poured concrete (3500 psi compressive strength) with welded-wire mesh, sitting on minimum 4" of clean gravel fill. Provide appropriate control joints for cracking.

Anchor bolts are to be 1/2" dia x 16" long galv steel, spaced @ 36" c/c, thru pres-treated sill plates, minimum 12" off all corners or splices, or per manufacturer's specifications. As an alternative, 16" anchor straps @ 42" c/c may be used (per manufacturers specs).

General Construction Notes

The contractor shall provide or arrange for all necessary materials, labor, permits, & equipment to complete this work, and shall maintain a clean & safe worksite.

These plans are designed to generally conform to the 2019 edition of the RESIDENTIAL CODE OF OHIO (RCO). There may be state regulations, local zoning laws, and subdivision restrictions having additional requirements. Locations with more stringent earthquake & hurricane protection requirements will need to contact a local engineer to update these plans, and adjust beam sizing to reflect higher roof loading. Sprinkler system design, if requested, not part of these plans.

All contractors are required to review & understand the appropriate contract documents and construction drawings prior to ordering any materials or beginning any construction. If questions arise, they must contact the job supervisor & residential designer for clarification prior to proceeding. These drawings are abbreviated and indicate the minimum standards necessary to comply with typical building codes and permit regulations. The author has made every attempt to be accurate & complete, but should any errors or omissions be discovered it is the contractors responsibility to immediately notify the job supervisor & residential designer for problem resolution prior to continuing construction. By accepting & using these plans, all parties agree to hold-harmless the author of these plans from any & al omissions & errors, and any associated costs to remedy such.

Verify existing & future underground utilities with owners & contact a utility-marking service minimum 2 days prior to digging. Call 811 nationwide for utility marking, or visit www.digsaferly.com for state-specific One-Call contact information.

DO NOT SCALE DRAWINGS! Written dimensions are to be assumed accurate, and are generally measured from face-to-face of rough framing or foundation walls UNO. Contact the residential designer if a necessary dimension is missing & needed prior to proceeding.

Electrical, plumbing, & HVAC design, engineering, sizing & placement are not part of the residential designer's responsibilities, but may be shown for reference only, or included when done by others as part of this plan package. All electrical equipment & installation shall comply with the appropriate NEC.

At lease one smoke detector must be located on every level, in every bedroom, in hallways within 15ft of all bedroom doors, and be hardwired with battery backup, and be interconnected so that activation of one alarm will activate all others (per Section 313).

All handrails & guardrails shall comply with Sections 311 & 312.

Substitutions of equal or better materials, methods & assemblies may be allowed with prior review/approval by the owner & job supervisor & residential designer.

Stair design criteria: max 8 1/4" riser / min 9" tread unless noted otherwise / min 6'-8" clear headroom, and must comply with Section 313.5. All egress doors & hallways & landings must comply with Section 311.4.

Live Load design criteria (varies per location, shown for OH below):

Floor live load = 40 psi (residential)
Roof live load = 20 psi / basic wind speed = 90 mph (2017 psi)
Attics with storage = 20 psi / Attics without storage = 10 psi
Decks & balconies = 200 psi / Guardrails = 200 psi (single concentrated load @ top)
Stairs = 40 psi uniform load -or- a 300lb concentrated load in a 4 sq inch area
Wind exposure = B / Seismic design category = A / severe weathering probable
Subject to possible termite damage conditions & decay conditions
Winter design temperature = 3 deg Fahrenheit (ice shield required)

Interior wall & ceiling finishes shall not exceed flame-spread classifications as dictated by al applicable codes. Contractor shall verify fire alarm, smoke detectors, carbon monoxide detectors, and fire extinguisher requirements & locations with the building owner & verify with local jurisdictional requirements.

Interior doors are shown 4" off corners unless dimensioned otherwise. All interior openings are drywall-wrapped unless noted as: "CO" = wood cased opening.

Attic access (22x30in) must comply with Sections 806 & 807.

Garage-to-house wall separation must comply with Section 309.2.

All glazing must comply with Section 308.4 - verify tempered glass with window provider.

Window manufacturer & specific sizes are to be determined by builder & homeowner based off the generic sizes shown on plans. Window types & sizes are noted as such:

Window sizes are called out by foot / inch and always width / depth. For example, a 2850DH is 2ft-8inches (32") by 5ft-0inches (60") tall and pronounced "two-eight, five-zero".

INDEX OF DRAWINGS	
1	SITEPLAN & COVER SHEET W/ CODE INFO
2	FOUNDATION
3	FIRST FLOOR PLAN
4	SECOND FLOOR PLAN
5	EXTERIOR ELEVATIONS
6	PRELIMINARY ROOF PLAN
7	BUILDING & WALL SECTIONS
8	FLOODHAZARD LAYOUTS
9	PRELIMINARY ELECTRICAL PLAN

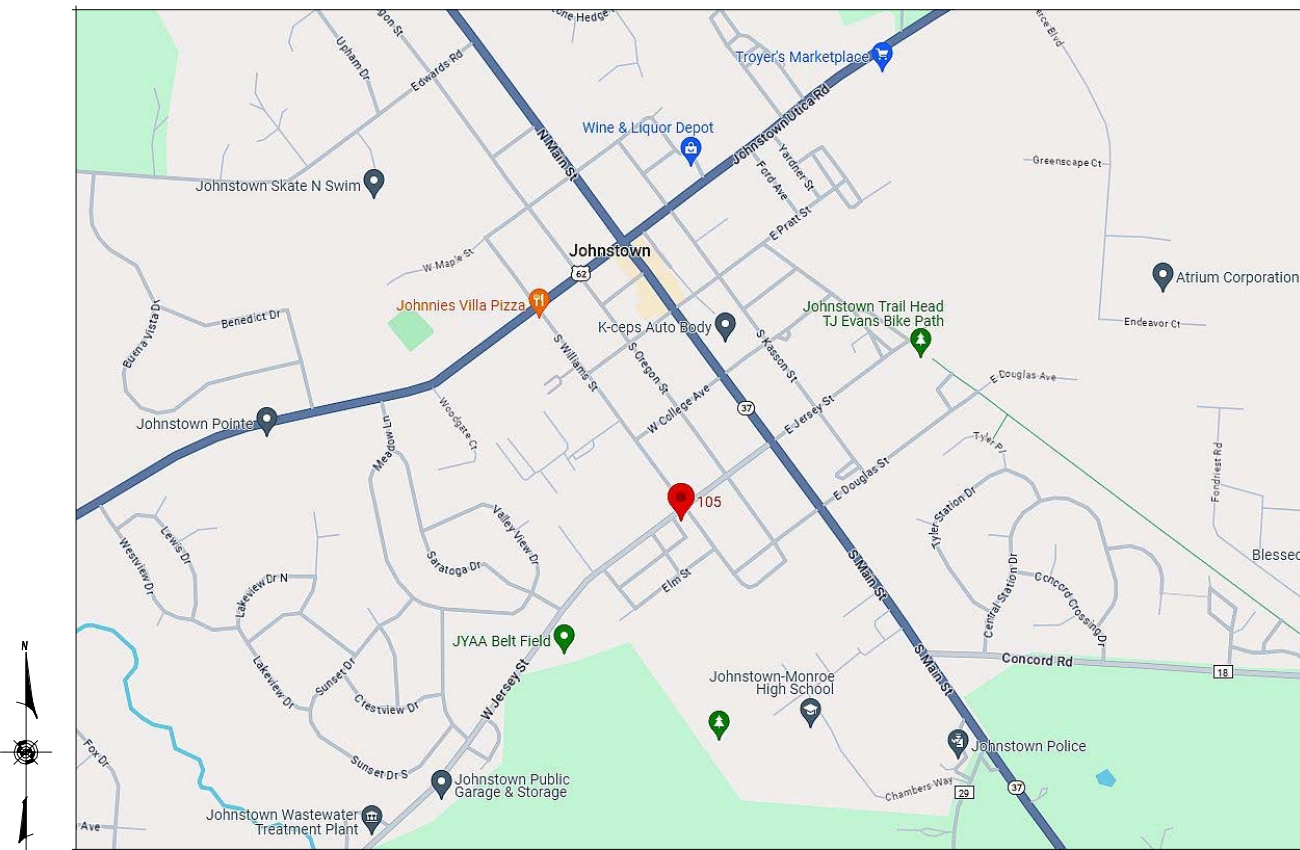
Calculating Living Space (square feet) in a Single-Family Residence:

Square footage (SF or SQFT) is measured from the outside of the framing & sheathing along the perimeter of the heated & finished areas of the living spaces. Stairs are counted only once, usually on the 1st floor. Two-story volumes are counted only once, always on the lowest level. Fireplaces and chimney areas are generally not included if on an exterior wall, but may be included if surrounded on all sides by finished space. Areas in basements that are finished (drywalled, painted, & serviced by HVAC) are counted. Exterior porches, garages, crawlspaces, attics, decks and other non-habitable spaces are not counted as living space, but may be listed separately.

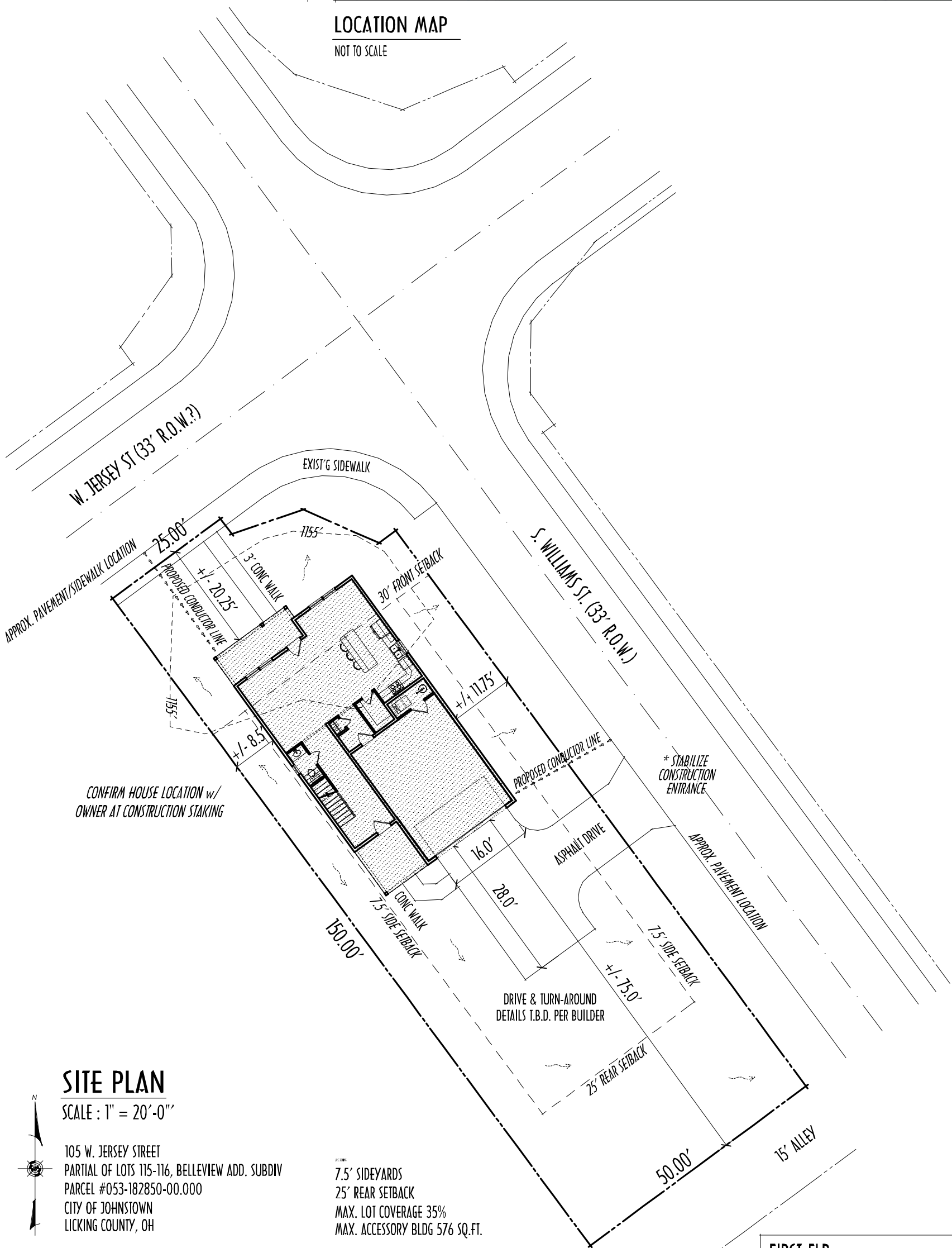
The above statement complies with ANSI Z765 National Standards (1997).

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LOCATION MAP
NOT TO SCALE



SITE PLAN
SCALE : 1" = 20'-0"

105 W. JERSEY STREET
PARTIAL OF LOTS 115-116, BELLEVUE ADD. SUBDIV
PARCEL #053-182850-00.000
CITY OF JOHNSTOWN
LICKING COUNTY, OH

7.5' SIDEYARDS
25' REAR SETBACK
MAX. LOT COVERAGE 35%
MAX. ACCESSORY BLDG 576 SQ.FT.

FIRST FLR =	869 SQ.FT.
SECOND FLR =	1,369 SQ.FT.
TOTAL HEATED AREA =	2,238 SQ.FT.

Abbreviations:

ABV - above
A/C - air conditioning unit
ACAP - as close as possible
AFF - above finished floor
BD - board
BP - bearing point
BM - beam
BRG - bearing
C/C - center-to-center spacing
C/J - ceiling joist
CF - cubic feet
CONC - concrete
CSMT - casement (window)
DIA - diameter
DIAG - diagonal
DIM - dimension
DH - double hung (window)
DN - down
DW - drywall or dishwasher
EA - each
EEO - emergency egress operable
ELEV - elevation
EXIST - existing
F/J - floorjoist
FT - feet
FFE - first floor elev
FGE - finish grade elev
FTG - footing
GALV - galvanized
GFI - ground-fault circuit interrupt outlet
GYPBD - gypsum board (drywall)
HB - hose bibb
HDR - header
HGT - height
HVAC - heating, ventilation, air conditioning
IN - inch
INSUL - insulation
LL - live load
LVL - laminated veneer lumber (engineered wood beam)
MFR - manufacturer
MECH - mechanical
MIN - minimum
MSC - miscellaneous
NEC - national electric code
NTS - not to scale
O/C - on center (also C/C)
O/H - overhang
O/O - out to out
OPT - optional / extra
OSB - oriented strand board (sheathing)
PICT - picture (fixed window)
PLF - pounds per linear foot
PLWD - plywood
PSF - pounds per square foot
PSI - pounds per square inch
PT - pressure-treated
R - riser
REFG - refrigerator
REV - revised / revision
RO - rough opening
SAN - sanitary
SC - solid core
SD - smoke detector
SH - single hung (window)
SQFT or SF - square feet
SPECS - specifications
TEMPRD - tempered (glazing)
TOF - top of foundation
TYP - typical
UNO - unless noted otherwise
WP - weather-proof outlet
WT - weight
WWM - welded wire mesh
w/+ - with

COVER SHT

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THESE PLANS MAY NOT BE REPRODUCED OR USED FOR CONSTRUCTION WITHOUT PRIOR WRITTEN CONSENT OF THE AUTHOR OF THE PLANS. ALL DESIGNS REMAIN THE EXCLUSIVE PROPERTY OF RON DANNE, AIA

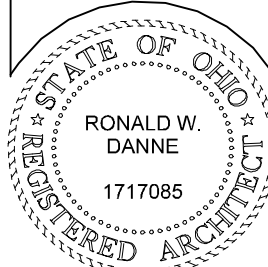
Danne
Residential Design & Drafting LLC

Contractor:

B. Dowell
jhdowell3@gmail.com

An Proposed New Single-Family Residence at:

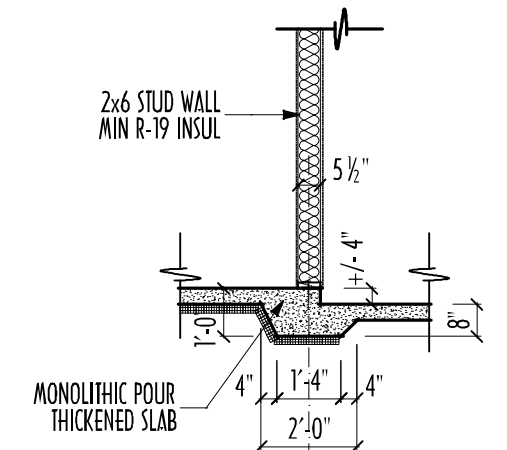
105 Jersey St
City of Johnstown, Licking County OH



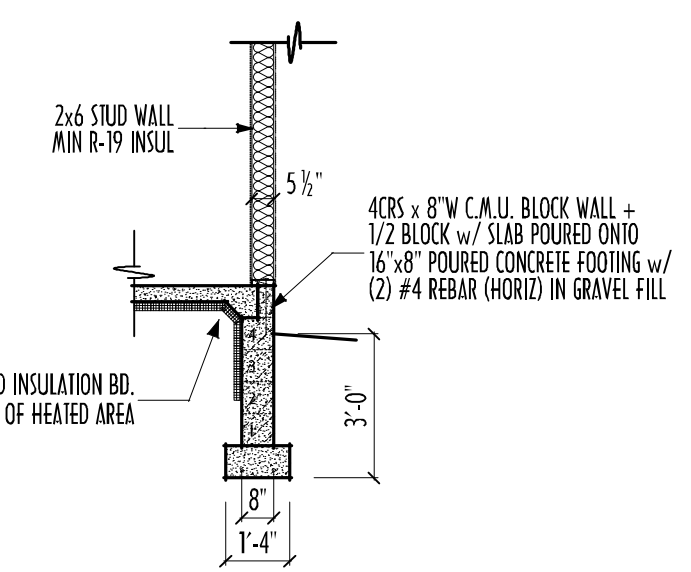
RONALD W. DANNE LICENSE #177085
EXPIRATION DATE 2/31/2025

Revisions	By	When	When	When	When	When
6/14/23	6/26/23	7/6/23	8/1/23	8/1/23	12/19/23	2/1/24
2/19/24	2/26/24	2/26/24	2/26/24	2/26/24	2/26/24	2/26/24

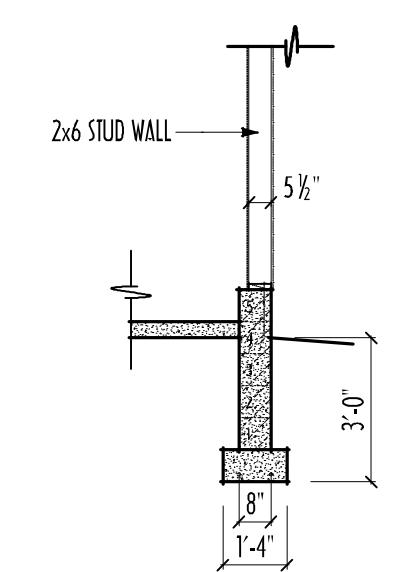
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TYP FND SECTION (HOUSE/GARAGE WALL)
SCALE : 1/4" = 1'-0"



TYP FND SECTION (HOUSE)
SCALE : 1/4" = 1'-0"

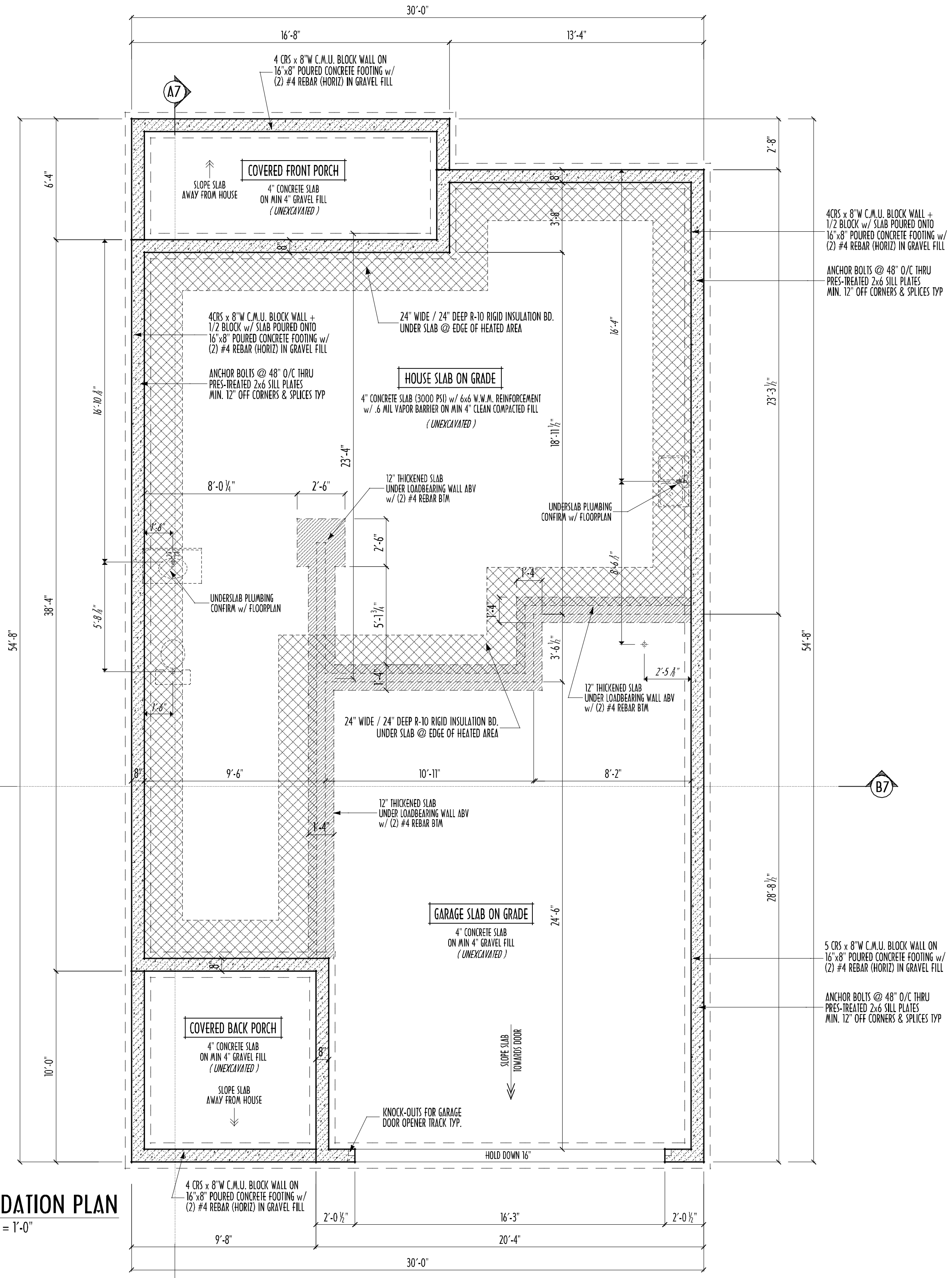


TYP FND SECTION (GARAGE)
SCALE : 1/4" = 1'-0"

24" GRAVEL UP WALL ABV FOOTER TILE
WATERPROOFING / DAMPROOFING PER LOCAL CODE
FIRST FLOOR DESIGN LIVE LOAD = 40 PSF
STEP DOWN FOOTING AS NECESSARY PER SITE
CONDITIONS TO REMAIN BELOW LOCAL FROST LINE (MIN 36")
GRADE MIN. 8" BELOW TOP OF FOUNDATION, SLOPING AWAY MIN. 6" FALL IN FIRST 10 FT OF RUN
USE PRES-TREATED EXTERIOR-GRADE LUMBER WHERE
EXPOSED TO WEATHER OR IN CONTACT WITH CONCRETE
ALL FOUNDATION WALL ENGINEERING & REBAR REINFORCEMENT IS TO FOLLOW
CODE-MINIMUM OR BETTER REQUIREMENTS, UNLESS DESIGNED OTHERWISE BY AN ENGINEER

FOUNDATION PLAN

SCALE : 1/4" = 1'-0"



CONC SLAB =	1,311 SQ.FT.
FRONT PORCH =	103 SQ.FT.
BACK PORCH SLAB =	97 SQ. FT.

FIRST FLR =	869 SQ.FT.
SECOND FLR =	1,369 SQ.FT.
TOTAL HEATED AREA =	2,238 SQ.FT.

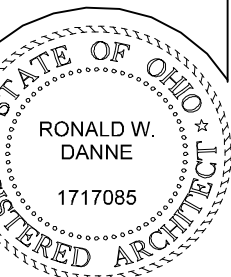
FOUNDATION

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Danne
Residential Design & Drafting LLC

Contractor:
B. Dowell
jhdowell5@gmail.com

An Proposed New Single-Family Residence at:
105 Jersey St
City of Johnstown, Licking County OH



RONALD W. DANNE LICENSE #177085
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Revisions	By	Ln	Ln	Ln	Ln	Ln	Ln
6/14/23	6/26/23	7/7/23	8/7/23	8/1/23	8/1/23	2/19/24	2/26/24
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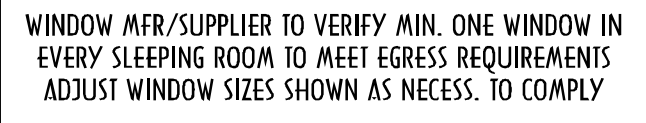
B. Dowell
dowell3@gmail.com

STATE OF OHIO
 RONALD W. DANNE
 1717085
 REGISTERED ARCHITECT

6/14/23 & 6/26/23	ldn
7/6/23 & 7/18/23	ldn
8/1/23	ldn
12/19/23 & 2/17/24	rw'd
2/19/24 & 2/26/24	y/r
...	...

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ALIGN OUTSIDE OF SHEATHING
w/ OUTSIDE OF FOUNDATION WALL

CONTINUE SHEATHING UP
RAISED TRUSS HEELS

INSET TRUSS HEELS 1/2"
FROM EXTERIOR PLAN DIM'S

SHINGLE ROOFING PER ELEVATIONS

PREFAB ROOF TRUSSES @ 24" C/C

15# FELT UNDERLAYMENT (OVERLAP MIN. 6") w/ ICEGUARD

7/16" OSB SHEATHING w/ ALUM. "H" CLIPS

CEILING INSULATION PER REMRATE/RESHECK (MIN. R-38)

INSUL BAFFLE FOR MIN. 2" VENTILATION GAP

TRUSS HEEL I.B.D. PER TRUSS ENG'R (VARIES PER PLAN)

DBL TOP PLATE (SINGLE TOP PL FOR 2ND FLR INTERIOR NON-BEARING WALLS ONLY)

ALUM. DRIP EDGE (DELETE w/ WOOD FASCIA)

SOFFITS w/ SCREENED VENTILATION OPENINGS

1/2" DRYWALL INTERIOR WALLS & CEILINGS OF FINISHED SPACES

EXTERIOR WALLS 2X6 @ 16" C/C (TYP) w/
7/16" OSB EXTERIOR SHEATHING w/ FINISH PER ELEVATION
MIN. R-19 BATT INSULATION (HEATED AREAS ONLY) OR PER RESCHECK

3/4" T & G PLYWOOD SUBFLOOR (GLUE & NAIL)

FLOORJOISTS PER PLAN (BLOCK PER CODE OR PROVIDER)

R-19 RIM JOIST INSULATION OR PER RESCHECK/REMRATE

DBL 2x TOP PLATE ALL LOADBEARING WALLS

1/2" DRYWALL INTERIOR WALLS & CEILINGS OF FINISHED SPACES

EXTERIOR WALLS 2X6 @ 16" C/C (TYP) w/
7/16" OSB EXTERIOR SHEATHING w/ FINISH PER ELEVATION
MIN. R-19 BATT INSULATION (HEATED AREAS ONLY) OR PER RESCHECK

ANCHOR BOLTS AT 48" O/C THRU P.T. 2X
SILL PLATE (MIN 12" OFF CORNERS & SPLICES)
ON 1/2" SILL SEALER OR EQUIV

GRADE MIN. 8" BELOW TOP OF
FOUNDATION WALL, SLOPING AWAY

4#1 CRS x 8"W C.M.U. BLOCK WALL ON
16" X 8" POURED CONCRETE FOOTING w/
(2) #4 REBAR (HORIZ) IN GRAVEL FILL

MIN. 24" HIGH GRAVEL FILL FOR DRAINAGE

16" X 8" CONTINUOUS CONCRETE FOOTINGS
w/ (2) #4 REBAR (HORIZ) IN FOOTERS

4" CONCRETE SLAB w/ 6 MIL V.B. AND
MIN. 4" CLEAN GRAVEL FILL
W.W.M. REINFORCEMENT PER PLAN

8'-1 1/8"

9'-1 1/8" (OR PER PLAN)

SECOND FLOOR

FIRST FLOOR

NOT TO SCALE

THIS IS A GENERIC WALL SECTION DESCRIBING THE TYPICAL CONSTRUCTION MATERIALS & METHODS UTILIZED FOR THIS TYPE OF SINGLE-FAMILY WOOD FRAME RESIDENCE
SPECIFICATIONS, BUILDING CODE REQUIREMENTS, AND PLAN SPECIFIC SECTIONS OVERRIDE THIS DETAIL

SECOND FLOOR CEILINGS AT 8'-1 1/8" ROUGH UNLESS NOTED
SECOND FLOOR WINDOWS HEADERS AT 6'-10" UNLESS NOTED

EXTERIOR WALLS ARE SHOWN 6" WIDE (2x6 STUDS @ 16" O/C UNLESS NOTED)
INTERIOR WALLS ARE SHOWN 3.5" WIDE (2x4 STUDS @ 16" O/C UNLESS NOTED)

CONTRACTORS TO SITE VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES WITH THE PLANS TO THE JOB SUPERVISOR ASAP

FIRST FLOOR DESIGN LIVE LOAD = 40 PSF

ALL CONSTRUCTION IS TO CONFORM TO THE APPROPRIATE BUILDING CODE FOR THE LOCATION OF CONSTRUCTION.

WINDOW TYPE/MANUFACTURER : VINYL SINGLE/DBL-HUNG & PICT PER PLAN

CONFIRM WINDOW ROUGH-OPENINGS AND HEADER HGT'S W/ MANUFACTURER OR SUPPLIER
ALL DIMENSIONS CORRESPOND TO EITHER CENTERLINES OR CORNERS

OF WOOD FRAMING LENGTHS (OUTSIDE OF SHEATHING) OR OPENINGS TYP.

AVOID FLOORJOISTS LOCATED DIRECTLY BELOW PLUMBING DRAINS OR FLUES

BLOCK BETWEEN FLOORJOISTS BELOW STRUCTURAL POINTS (CRUSH ZONES)
BRACE FLOORJOISTS AT MIDSPAN PER CODE (EXCEPT I-JOISTS UNLESS NOTED)

INTERIOR DOORS SHOWN 4" OFF CORNERS UNLESS NOTED OTHERWISE

NOTE: DIMENSIONS FOR ANGLED WALLS MAY CONTAIN ROUNDING ERRORS OF LESS THAN 1/8" TYPICALLY

IN SLEEPING ROOMS, AT LEAST ONE WINDOW MUST MEET EMERGENCY EGRESS REQUIREMENTS (MIN. 20" WIDE X 24" TALL & 5.7 SQ.FT.) PER R.C.O. 310.

FOAM PLASTIC/INSULATION SHALL BE INSTALLED PER RCO 314 & 315 [<75 FSR, <450 SDR PER ASTM E84]

SCALE : 1/4" = 1'-0"

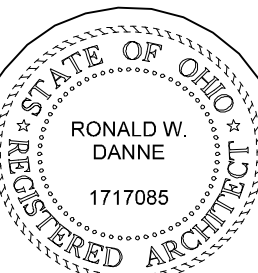
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SECOND FLR =	1,369 SQ.FT.
<u>TOTAL HEATED AREA =</u>	<u>2,238 SQ.FT.</u>

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FIRST FLOOR CEILINGS @ 8'-1 1/8" UNLESS NOTED
FIRST FLOOR WINDOW HEADERS @ 7'-6" UNLESS NOTED
SECOND FLOOR CEILINGS @ 8'-1 1/8" UNLESS NOTED
SECOND FLOOR WINDOW HEADERS @ 6'-10" UNLESS NOTED

EMERGENCY EGRESS OPERABLE (E.E.O.) WINDOWS IN ALL BEDROOMS

SEE ROOF PLAN FOR SOFFIT & RAKE SIZES

FLASH & CAULK ELEVATIONS AS NECESSARY TO PROVIDE A WEATHER-TIGHT SEAL BETWEEN MATERIALS, FRAMING & TRIM

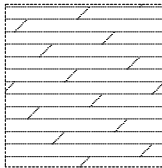
WINDOW TYPE & MANUFACTURER: VINYL SINGLE-HUNG & PICT (MFR TO-BE-DETERMINED)

WINDOWS & DOORS ARE TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS
CONFIRM WINDOW SIZES & ROUGH-OPENINGS WITH SUPPLIER

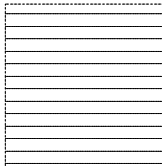
SLOPE GRADE AWAY FROM FOUNDATION FOR PROPER DRAINAGE

ALL EXTERIOR WOOD TRIM TO BE EITHER CEMENT-BOARD OR WOOD COMPOSITE (EX. LP SMARTTRIM) OR VINYL

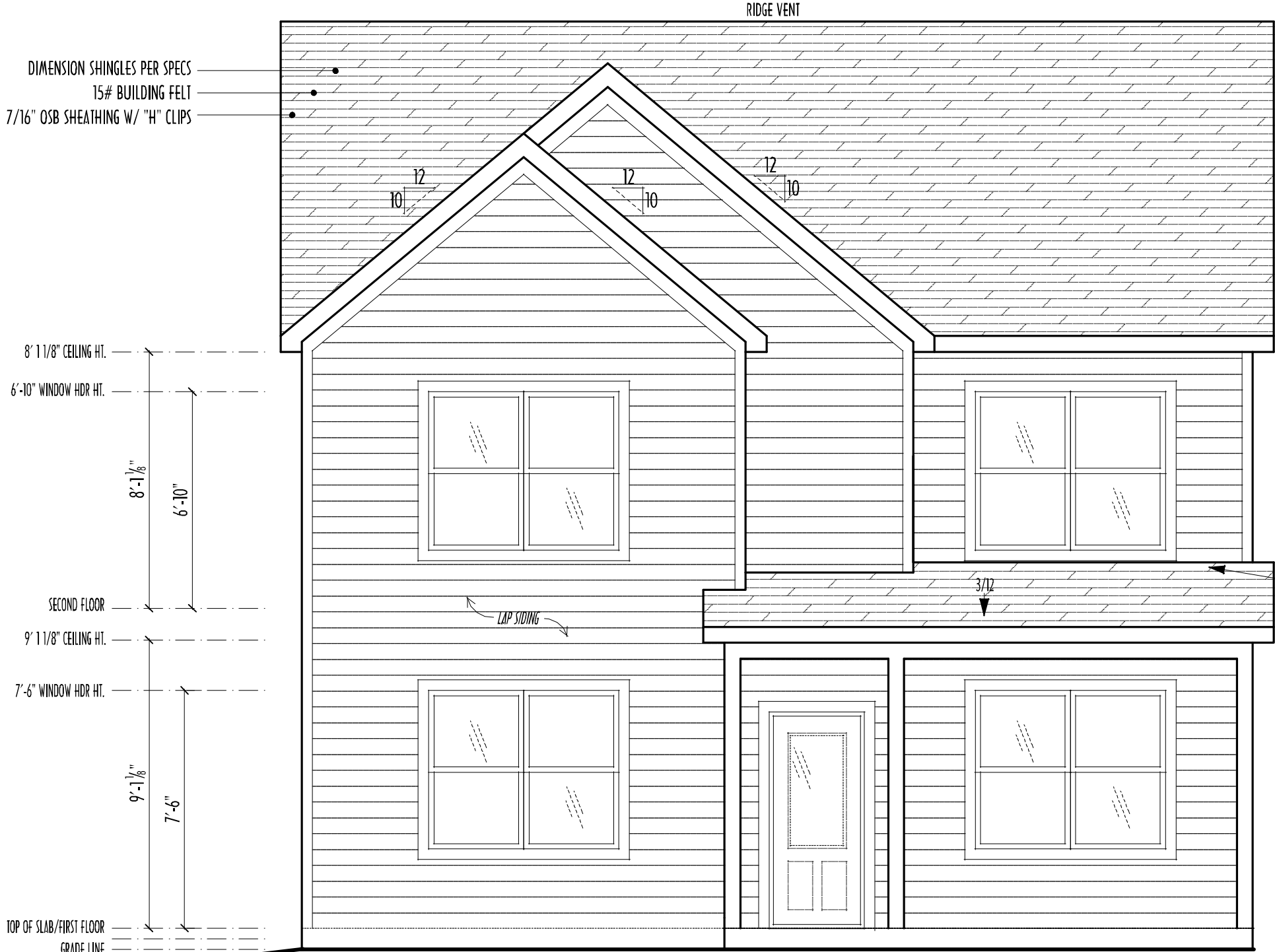
"2" FLASH & WEATHERSEAL
VERIFY TOP OF NEW ROOF MIN 4" BELOW EX. 2ND FLR WINDOWS



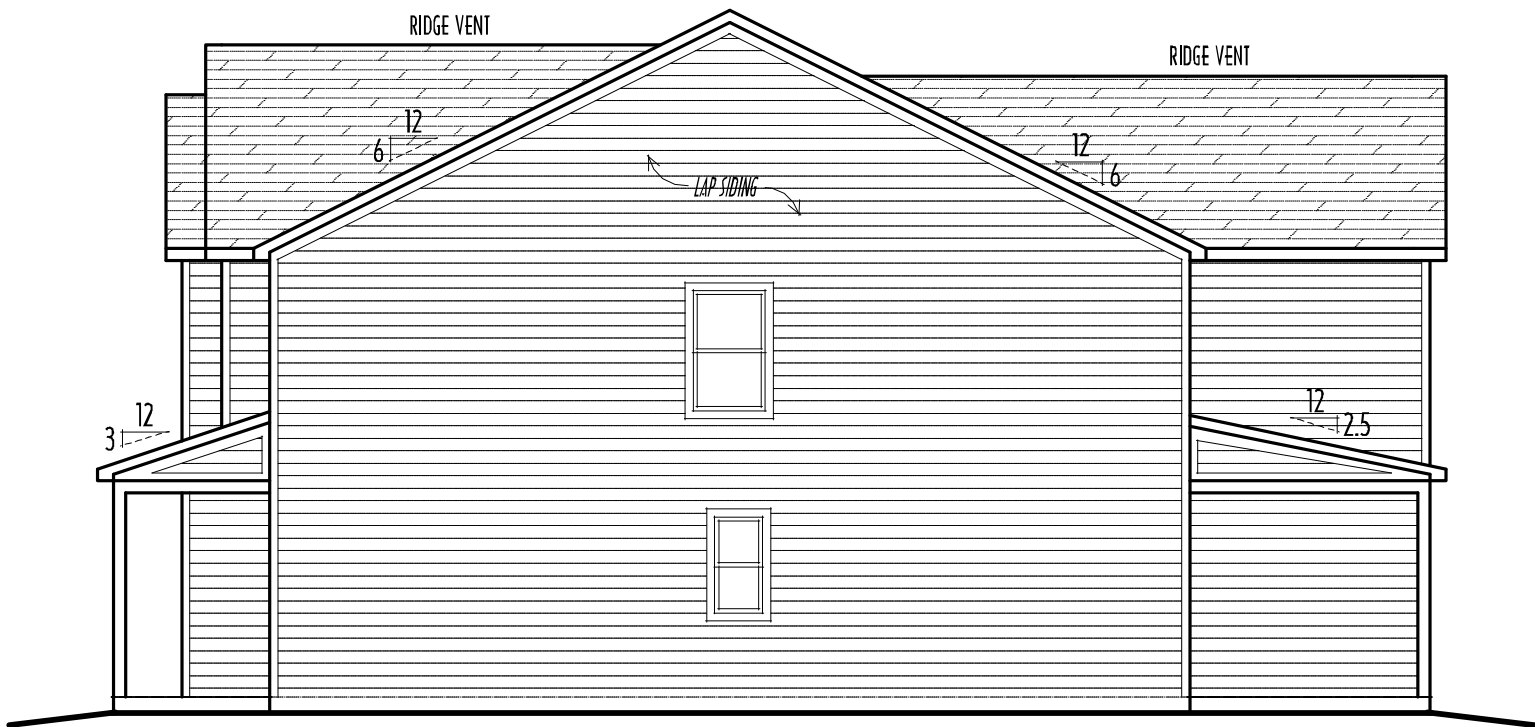
DIMENSIONAL SHINGLE ROOFING



HORIZ. SIDING (TYPE T.B.D.)



FRONT ELEVATION
SCALE : 1/4" = 1'-0"

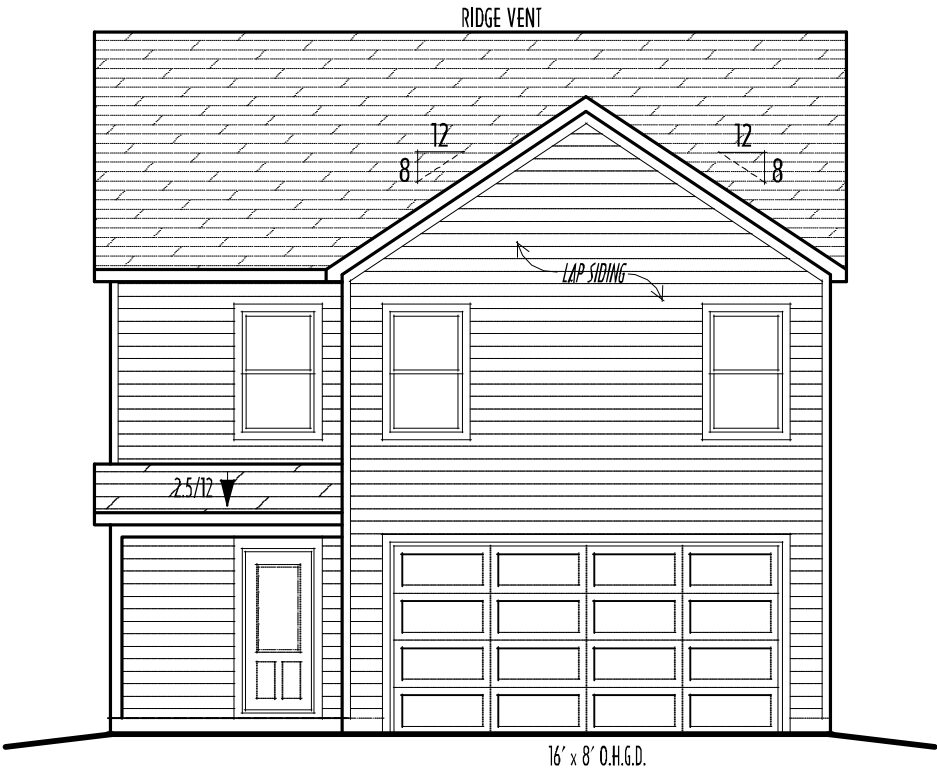


RIGHT ELEVATION
SCALE : 1/8" = 1'-0"

FINAL WINDOW DESIGN PER PROVIDER. ALL FRAMING ROUGH-OPENINGS TO BE BASED ON FINAL LAYOUT ONLY

EXACT WINDOW & DOOR GRID PATTERNS (MULLIONS) MAY DIFFER - REFER TO MANUFACTURER OR SUPPLIER

GRADE ELEVATION SHOWN IS APPROXIMATE
FIELD VERIFY & ADJUST FOUNDATION AS NECESSARY

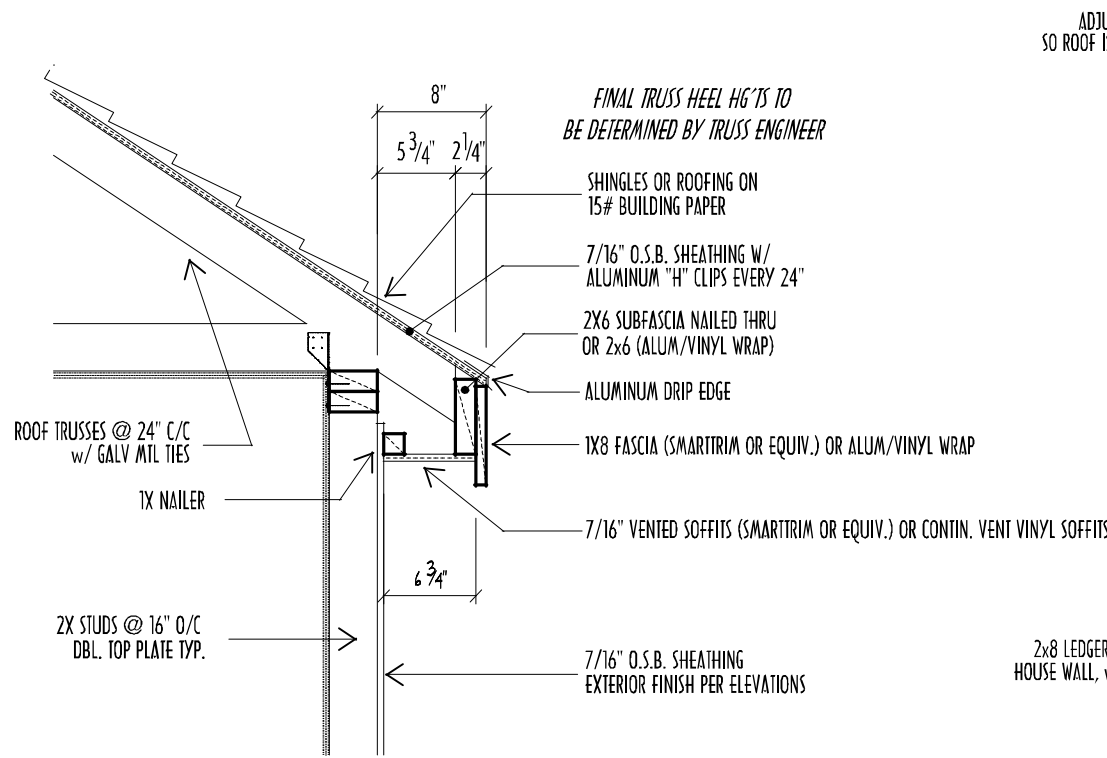


BACK ELEVATION
SCALE : 1/8" = 1'-0"

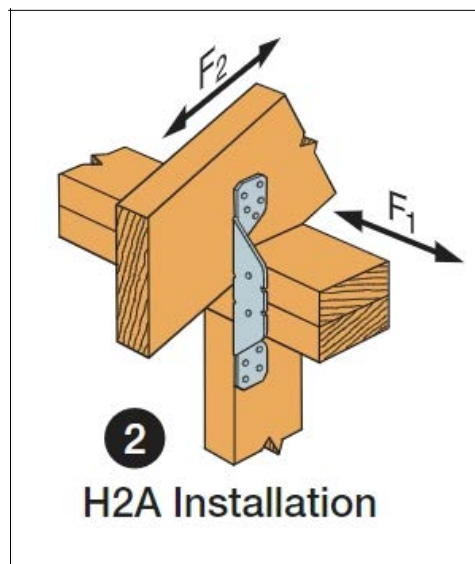


LEFT ELEVATION
SCALE : 1/8" = 1'-0"

FIRST FLR =	869 SQ.FT.
SECOND FLR =	1,369 SQ.FT.
TOTAL HEATED AREA =	2,238 SQ.FT.



8" SOFFIT / EAVE DETAIL
SCALE: 1" = 1'-0"

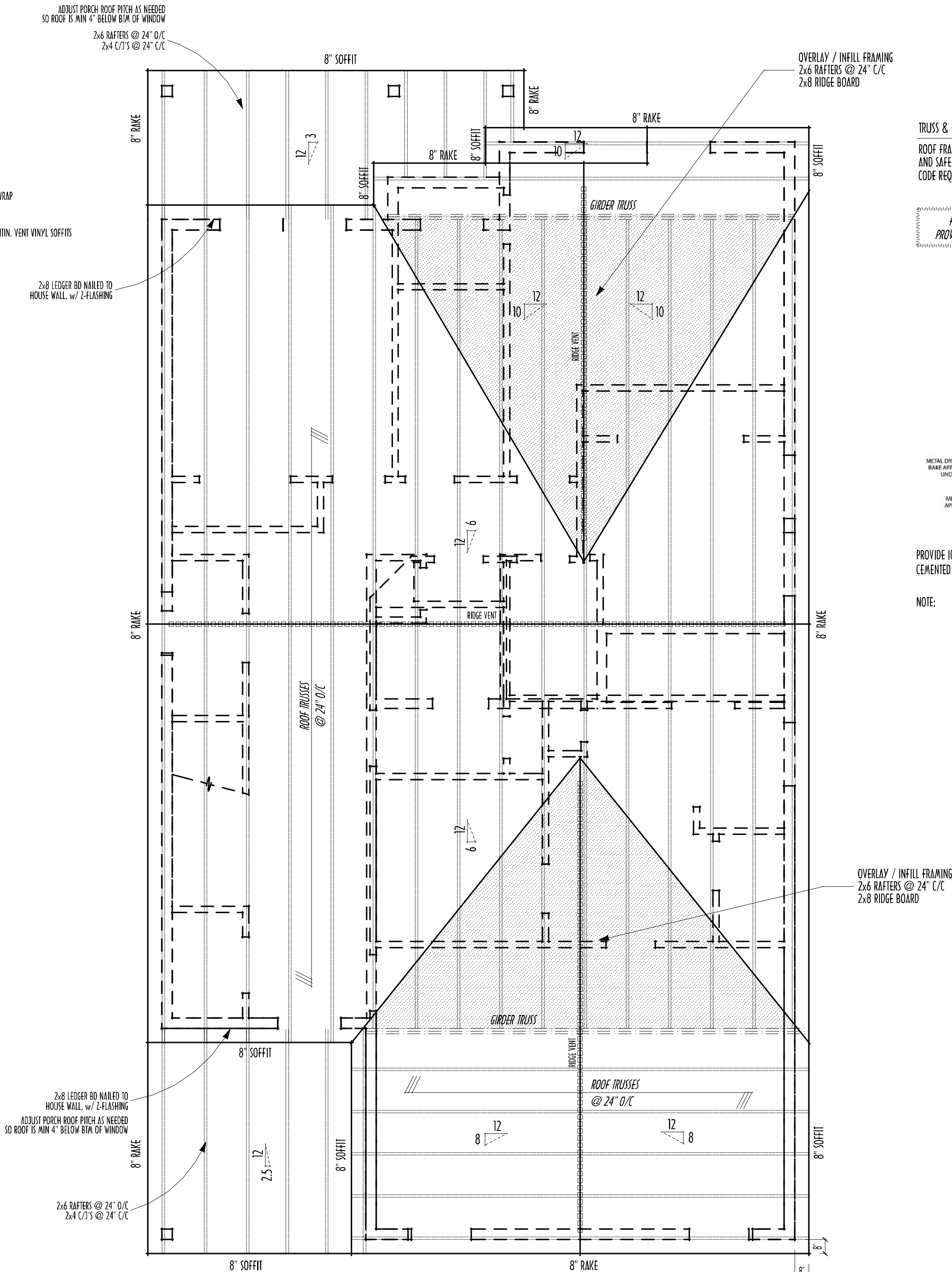


MAX. ALLOWABLE SPANS RAFTERS	
CEILING APPLIED DIRECTLY TO BOTTOM / REPETITIVE USE	
SOUTHERN YELLOW PINE #2	SPRUCE/PINE/FIR #2
2x4 @ 16" ~ MAX. SPAN = 8'-11"	2x4 @ 16" ~ MAX. SPAN = 8'-6"
2x4 @ 24" ~ MAX. SPAN = 7'-5"	2x4 @ 24" ~ MAX. SPAN = 7'-5"
2x6 @ 16" ~ MAX. SPAN = 13'-0"	2x6 @ 16" ~ MAX. SPAN = 12'-5"
2x6 @ 24" ~ MAX. SPAN = 10'-8"	2x6 @ 24" ~ MAX. SPAN = 10'-2"
2x8 @ 16" ~ MAX. SPAN = 16'-10"	2x8 @ 16" ~ MAX. SPAN = 15'-9"
2x8 @ 24" ~ MAX. SPAN = 13'-9"	2x8 @ 24" ~ MAX. SPAN = 12'-10"
2x10 @ 16" ~ MAX. SPAN = 20'-1"	2x10 @ 16" ~ MAX. SPAN = 19'-3"
2x10 @ 24" ~ MAX. SPAN = 16'-5"	2x10 @ 24" ~ MAX. SPAN = 15'-8"
2x12 @ 16" ~ MAX. SPAN = 23'-7"	2x12 @ 16" ~ MAX. SPAN = 22'-4"
2x12 @ 24" ~ MAX. SPAN = 19'-3"	2x12 @ 24" ~ MAX. SPAN = 18'-3"

CANADIAN WOOD COUNCIL - US SPANS FOR CANADIAN LUMBER GUIDE
AMERICAN SOFTWOOD LUMBER STD. PS20-99
FHA GUIDELINES / 2013 RESIDENTIAL CODE OF OHIO

MAX. ALLOWABLE SPANS CEILING JOISTS	
SPRUCE/PINE/FIR #2 OR BETTER (REPETITIVE USE)	
EXTREME FIBER STRESS IN BENDING "F _B " = 1100+ PSI MODULUS OF ELASTICITY "E" = 1.4 MIL PSI	
NO STORAGE ALLOWED:	LIMITED ATTIC STORAGE:
2x4 @ 16" ~ MAX. SPAN = 10'-9"	2x4 @ 16" ~ MAX. SPAN = 8'-11"
2x4 @ 24" ~ MAX. SPAN = 9'-10"	2x4 @ 24" ~ MAX. SPAN = 7'-8"
2x6 @ 16" ~ MAX. SPAN = 16'-11"	2x6 @ 16" ~ MAX. SPAN = 13'-6"
2x6 @ 24" ~ MAX. SPAN = 15'-6"	2x6 @ 24" ~ MAX. SPAN = 11'-0"
2x8 @ 16" ~ MAX. SPAN = 22'-4"	2x8 @ 16" ~ MAX. SPAN = 17'-5"
2x8 @ 24" ~ MAX. SPAN = 20'-1"	2x8 @ 24" ~ MAX. SPAN = 14'-2"
2x10 @ 16" ~ MAX. SPAN = n/o	2x10 @ 16" ~ MAX. SPAN = 20'-9"
2x10 @ 24" ~ MAX. SPAN = 23'-11"	2x10 @ 24" ~ MAX. SPAN = 16'-11"

CANADIAN WOOD COUNCIL - US SPANS FOR CANADIAN LUMBER GUIDE
AMERICAN SOFTWOOD LUMBER STD. PS20-99
FHA GUIDELINES / 2013 RESIDENTIAL CODE OF OHIO



PRELIMINARY ROOF FRAMING LAYOUT

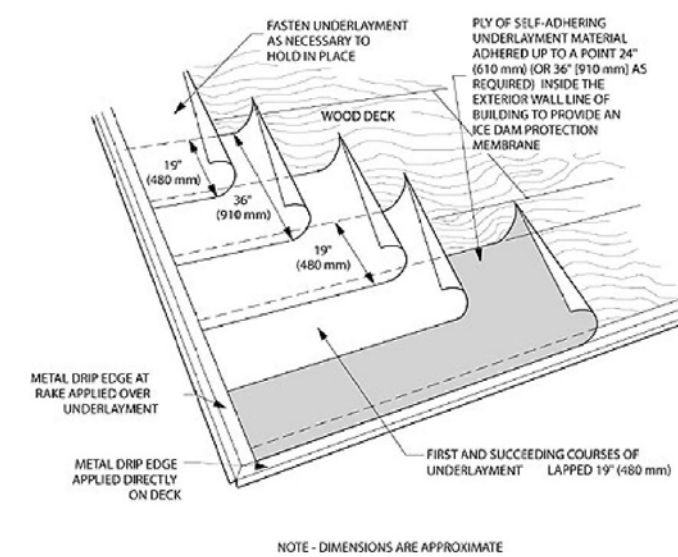
SCALE: 1/4" = 1'-0"

FOR REFERENCE ONLY - TRUSS DRAWINGS TO BE ENGINEERED BY TRUSS DESIGNER

TRUSS & FRAMING SHOWN FOR REFERENCE ONLY

ROOF FRAMING CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, ENGINEERING, MANUFACTURING, AND SAFE CONSTRUCTION OF ROOF FRAMING MATERIALS TO ENSURE COMPLIANCE WITH ANY APPLICABLE CODE REQUIREMENTS REGARDING ALLOWABLE SPANS, ACCEPTABLE MATERIALS, AND BUILDING SAFETY.

FINAL BEAM CALC'S T.B.D. ONCE TRUSS LAYOUT & PROFILES ARE PROVIDED TO BUILDING DESIGNER & HOMEOWNER (PRIOR TO FRAMING)



NOTE: PROVIDE ICE-DAM PROTECTION @ EAVES USING 2 LAYERS OF OVERLAPPED UNDERLAYMENT CEMENTED TOGETHER UNDER SHINGLES EXTENDING IN MIN. 24" FROM OUTSIDE OF WALL BELOW

NOTE: ROOF SLOPES LESS THAN 4 IN 12 SHALL HAVE MIN. (2) LAYERS OF #15 FELT PARALLEL TO EAVES, WITH MIN. 19" LAP AT TOP AND MIN. 12" END LAP, WITH MIN. 72" BETWEEN ROWS OF END LAPS
- OR - INSTALLED PER SHINGLE MANUFACTURER'S SPECIFICATIONS FOR COLD-WEATHER LOW-SLOPE CONDITIONS

ROOF VENTILATION CALC'S	
HORIZONTAL AREA OF ATTIC SPACES =	1,720 SQ.FT.
DIVIDE HORIZ. AREA BY 300 (USING BOTH RIDGE & SOFFIT VENTS)	
REQUIRED SQ.FT. OF VENT OPENINGS =	5.73 SQ.FT.
ACTUAL LINEAR FT. OF RIDGE VENT (64) =	64 LF x .11 PER = 7.04 SQ.FT.
ACTUAL SQ.FT. OF SOFFIT VENT (MIN 7) =	7 x .25 = 1.75 SQ.FT.
ACTUAL TOTAL SQ.FT. OF VENTS =	8.79 SQ.FT.

INFFIL & OVERLAY FRAMING:

2X6 RAFTERS @ 24" O/C
2X8 RIDGE BOARDS (OR LVL) PER FRAMING PACKAGE
BLOCK DOWN TO BEARING WALLS BELOW
W/ 2-2X4 PURLINS @ 48" O/C WHEREVER POSSIBLE

ALL RIDGE BEAMS & HIP RAFTER DEPTHS ARE TO BE NOT LESS THAN DEPTH OF END CUT OF RAFTER

ALL RAFTERS & OTHER CONVENTIONAL ROOF FRAMING LUMBER IS TO COMPLY WITH SPAN TABLES ABOVE

MIN. 2X6 VALLEY PLATE ON ROOF SHEATHING
NAIL THRU TO RAFTERS/TRUSSES BELOW

FIRST FLR =	869 SQ.FT.
SECOND FLR =	1,369 SQ.FT.
TOTAL HEATED AREA =	2,238 SQ.FT.

ROOF

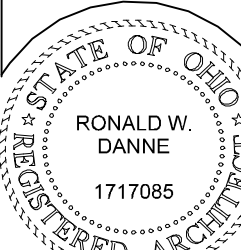
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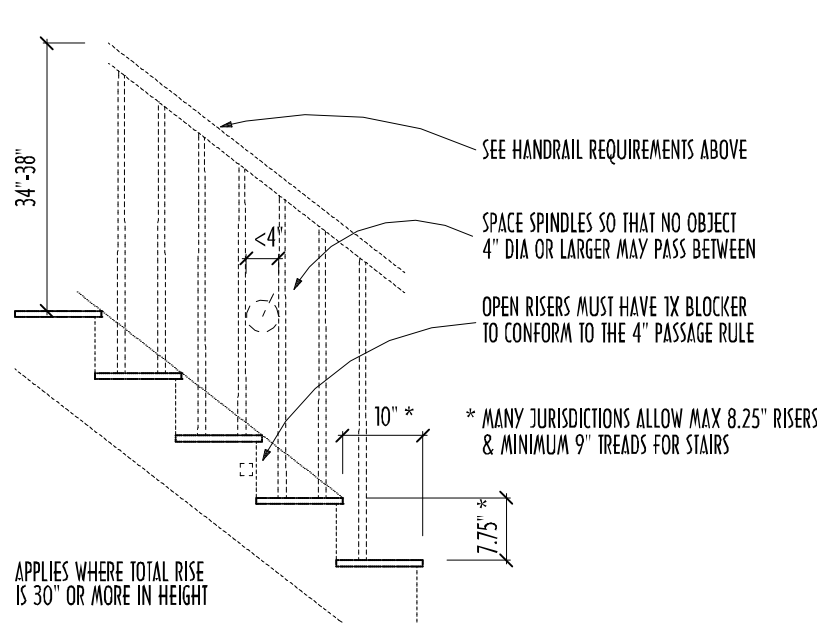
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MINIMUM CLEAR WIDTH BETWEEN STAIR WALLS IS 36" (37" FRAMING + DRYWALL)
MINIMUM CLEAR WITH BETWEEN HANDRAILS IS 27" IF TWO RAILS, OR 31.5" IF ONE RAIL

RISE HEIGHTS MAY NOT VARY MORE THAN 3/8" BETWEEN TALLEST & SHORTEST

HEADROOM CLEARANCE MINIMUM 6'-8" (MEASURED VERTICALLY FROM NOSING)

LANDINGS OR FLOORS ARE REQUIRED AT TOP & BOTTOM OF ALL STAIR FLIGHTS
THE MINIMUM WIDTH/DEPTH OF LANDINGS NOT LESS THAN 36" (OR = STAIR WIDTH)

EXCEPTION: INTERIOR & ENCLOSED GARAGE STAIRS AS LONG AS NO DOOR SWINGS OUT OVER STAIRS

STAIR CODE DETAILS

NOT TO SCALE

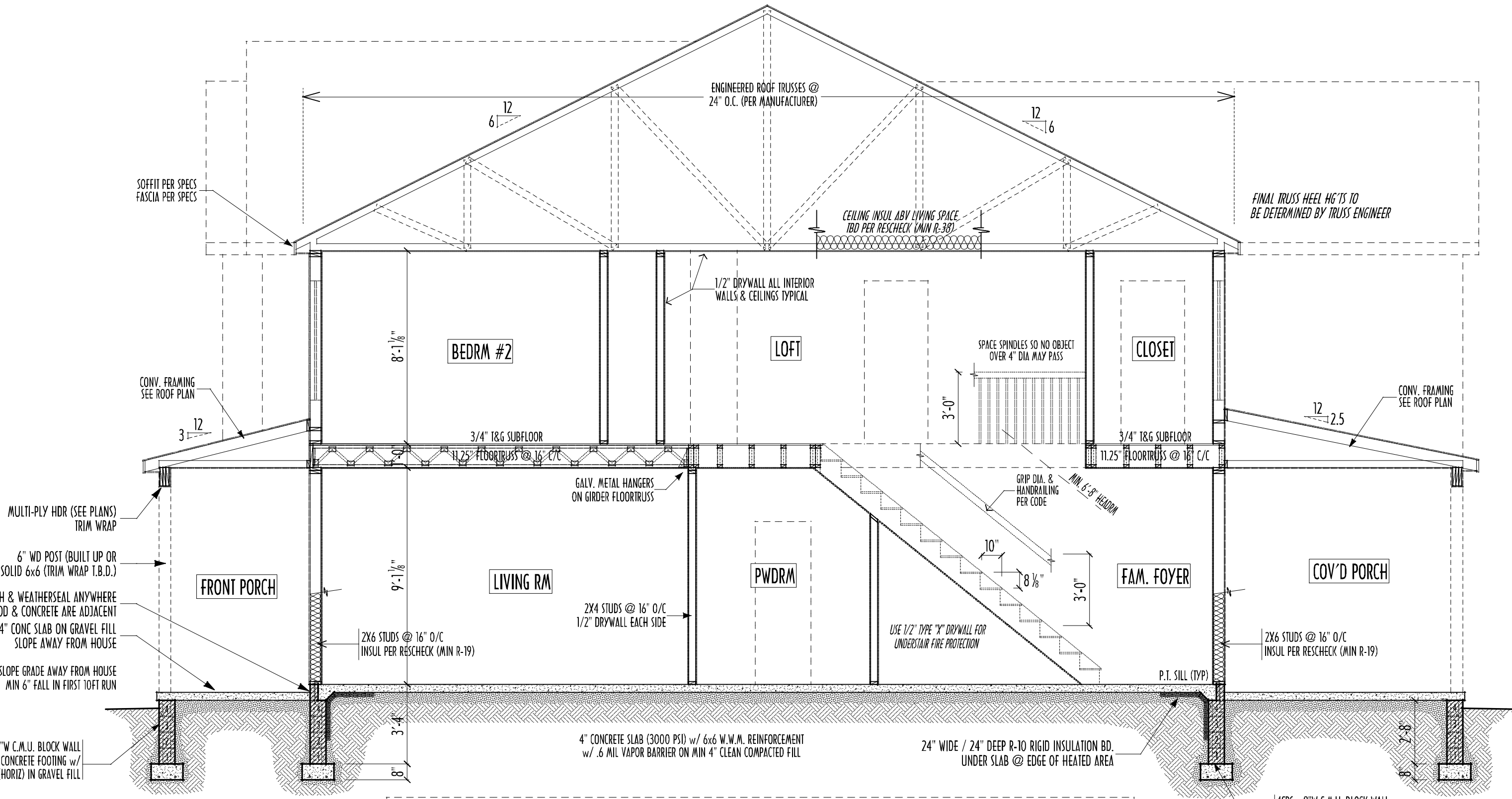
HANDRAIL GRIP REQUIREMENTS:

TYPE I
FOR CIRCULAR CROSS SECTIONS: MIN 1.25" DIAMETER & MAX 2" DIAMETER
NON-CIRCULAR CROSS SECTIONS: MIN PERIMETER 4" MAX 6.25", MAX CROSS SECTION 2.25"

TYPE II
FOR PERIMETERS GREATER THAN 6.25", PROVIDE GRASPABLE FINGER RECESSES EACH SIDE
BEGINNING 3/4" VERTICALLY FROM TALLEST POINT & BEING 5/16" DEEP WITHIN 7/8" OF WIDEST PART
AND CONTINUING MIN 3/8" TO A LEVEL NOT LESS THAN 1.75" FROM TALLEST PART
MIN WIDTH OF RAIL ABOVE RECESS IS 1.25" & MAX 2.75". MAX EDGE RADIUS 0.01"

HANDRAILS ARE TO BE CONTINUOUS FOR FULL LENGTH OF FLIGHT, FROM A
POINT DIRECTLY ABOVE THE TOP RISER TO A POINT DIRECTLY ABOVE THE LOWEST
RISE, AND TERMINATE INTO A NEWELL POST OR BE RETURNED INTO WALL

MIN. 1.5" SPACE REQUIRED BETWEEN HANDRAILS AND ADJACENT WALLS



A SECTION THRU LIVING RM / STAIRS / PORCHES
SCALE : 1/4" = 1'-0"

FINAL BEAM CALLS T.B.D. ONCE TRUSS LAYOUT & PROFILES ARE
PROVIDED TO BUILDING DESIGNER & HOMEOWNER (PRIOR TO FRAMING)

TYPICAL DETAILS & NOTES: CONTRACTOR IS TO ASSUME ALL GENERAL NOTES & DETAILS APPLY
THROUGHOUT THE PLANS IN SIMILAR CONDITIONS UNLESS NOTED OTHERWISE. ALL CONSTRUCTION
PROCEDURES THAT ARE GENERALLY FOLLOWED FOR THIS TYPE OF BUILDING (SINGLE-FAMILY WOOD
FRAME RESIDENTIAL HOUSE ON A POURED CONCRETE FOUNDATION) ARE TO BE FOLLOWED, AS ARE
ALL CODE PROVISIONS & LOCAL JURISDICTIONAL REQUIREMENTS. THESE PLANS ARE ABBREVIATED
AND MAY NOT SHOW ALL NECESSARY DETAILS & ASSEMBLIES THAT BUILDER IS REQUIRED TO APPLY.

CALL OR E-MAIL ARCHITECT & OWNER WITH QUESTIONS OR ISSUES PRIOR TO PROCEEDING
WITH CONSTRUCTION. COSTS ASSOCIATED w/ FAILURE TO DO SO WILL BE CONTRACTOR RESPONSIBILITY

HANDRAIL / GUARDRAIL REQUIREMENTS

PROVIDE FOR STAIR SETS W/ 3+ RISERS OR PORCHES W/ >30 STEP-DOWN TO GRADE
RAILING MIN. 36" HIGH WITH GRIP NOT TO EXCEED 2 5/8" DIAMETER
DISTANCE BETWEEN BALUSTERS (SPINDLES) SHALL BE LESS THAN 4"

GRADE ELEVATION SHOWN IS APPROXIMATE
FIELD VERIFY & ADJUST FOUNDATION AS NECESSARY

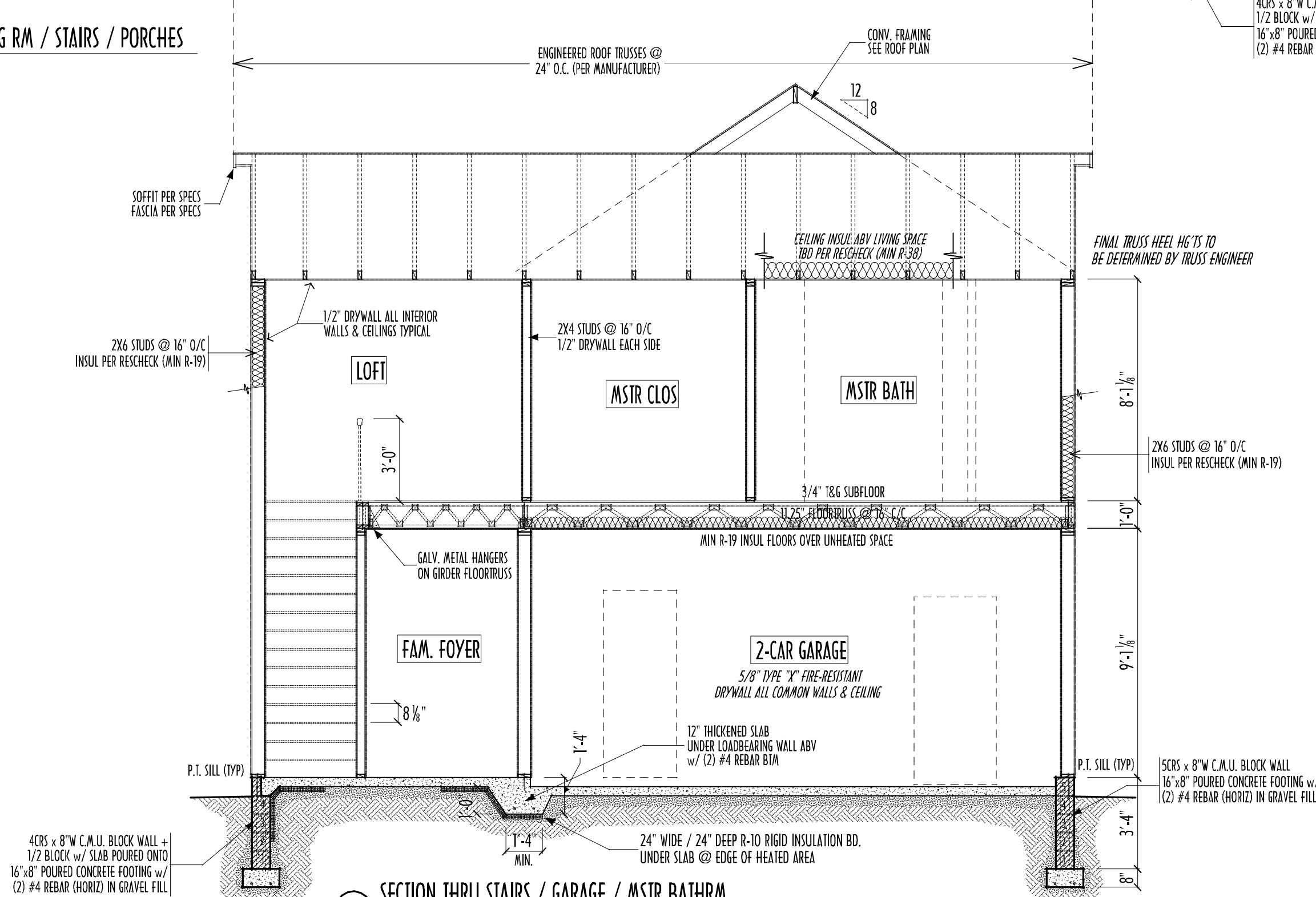
ALL LOADBEARING HEADERS PER PLAN, MIN 2-2x6 FOR EXTERIOR NON-LOADBEARING
HEADERS IN EXTERIOR WALLS, 2X4 FLAT FOR NON-BEARING INTERIOR WALLS TYP.

MIN. 2-STUD BEARING POINT (GLUE & NAIL)
TYPICAL FOR ALL HEADERS UNLESS NOTED

PORCH POSTS SECURED TO CONCRETE SLAB/BASE USING SIMPSON S-T
GALV METAL POST BASES (EMBED PER MFR)

INSTALL ALL LVL & LSL BEAMS WITH
LABELS VISIBLE FOR BLDG INSPECTION

FINAL/INSTALLED INSULATION VALUES SHOULD MATCH
REMARK SHEETS FROM INSULATION SUPPLIER (THOSE SHOWN
ON THESE PLANS ARE PRELIMINARY/REFERENCE ONLY)



B SECTION THRU STAIRS / GARAGE / MSTR BATHRM
SCALE : 1/4" = 1'-0"

FIRST FLR = 869 SQ.FT.
SECOND FLR = 1,369 SQ.FT.
TOTAL HEATED AREA = 2,238 SQ.FT.

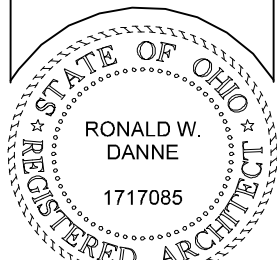
SECTIONS

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cell / txt : 614.207.6266
e-mail: dannedd@gmail.com
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Danne
Residential Design & Drafting LLC

Contractor:
B. Dowell
jhdowell3@gmail.com

An Proposed New Single-Family Residence at:
105 Jersey St
City of Johnstown, Licking County OH



RONALD W. DANNE LICENSE #177085
EXPIRATION DATE 2/31/2025

Rev#	Revisions	By
1	6/14/23	6/26/23
2	7/6/23	8/1/23
3	12/19/23	2/1/24
4	2/19/24	2/26/24

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ELECTRICAL KEY

OUTLET & FIXTURE LOCATIONS SHOWN ARE FOR REFERENCE ONLY. EXACT LOCATIONS & SIZES ARE TO BE DETERMINED BY ELECTRICAL CONTRACTOR AND/OR BUILDER'S SPECS

ALL WIRING & FIXTURE INSTALLATION TO BE DONE PER NEC & LOCAL/STATE CODES

- CEILING OR WALL MOUNTED LIGHT FIXTURE
- FLUORESCENT LIGHT FIXTURE
- RECESSED / CAN LIGHT
- BATHROOM EXHAUST FAN
- ELECTRICAL OUTLET
- SMOKE ALARMS (SEE DESCRIPTION BELOW)
- TELEPHONE JACK
- EXTERIOR FLOOD LIGHTS
- SWITCH
- WIRE

SMOKE DETECTOR TYPES & LOCATIONS:

- IONIZATION SMOKE DETECTORS IN EVERY SLEEPING ROOM
- CARBON MONOXIDE / PHOTOELECTRIC SMOKE DETECTORS IN HALLWAYS OUTSIDE OF SLEEPING AREAS
- IONIZATION/PHOTOELECTRIC SMOKE DETECTORS IN EVERY LEVEL WITHOUT ANY SLEEPING AREAS

GROUND-FAULT INTERRUPT CIRCUITS IN KITCHENS, GARAGES, AND ALL BATHS TYPICAL, PER NATIONAL ELECTRIC CODE (NEC)

GROUNDING ELECTRODE SYSTEM & CONDUCTOR SIZE PER NEC 250.66 (EXAMPLES INCLUDE WATER PIPE IN DIRECT CONTACT W/ EARTH FOR MIN 10FT -OR- CONC ENCASED ELECTRODE)

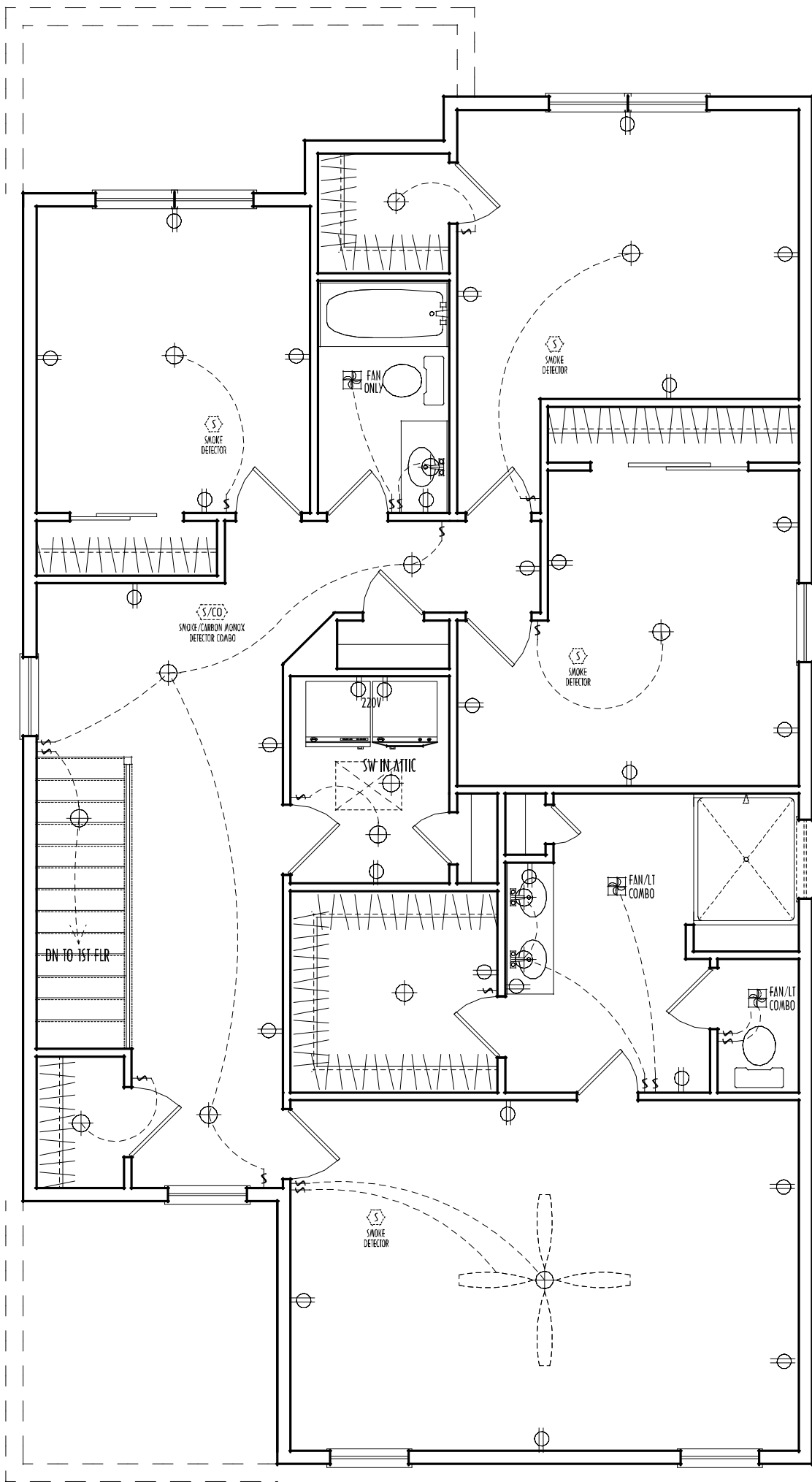
MIN (2) 20 AMP CIRCUITS IN KITCHEN, WITH RECEPTACLES EVERY 24" OF COUNTERTOP FOR APPLIANCES, PER NEC 210.52

FOR HABITABLE ROOMS, SPACE OUTLETS SO THAT NO SPACE IS MORE THAN 6FT HORIZONTALLY FROM A RECEPTACLE, PER NEC 210.52

AT LEAST ONE WEATHERPROOF G.F.I. OUTLET INSTALLED AT FRONT & BACK EXTERIOR OF HOUSE, NO MORE THAN 6.5FT ABV GRADE

EXPOSED INCANDESCENT LIGHTING FIXTURES ARE NOT PERMITTED IN CLOTHES CLOSETS PER NEC 410.16

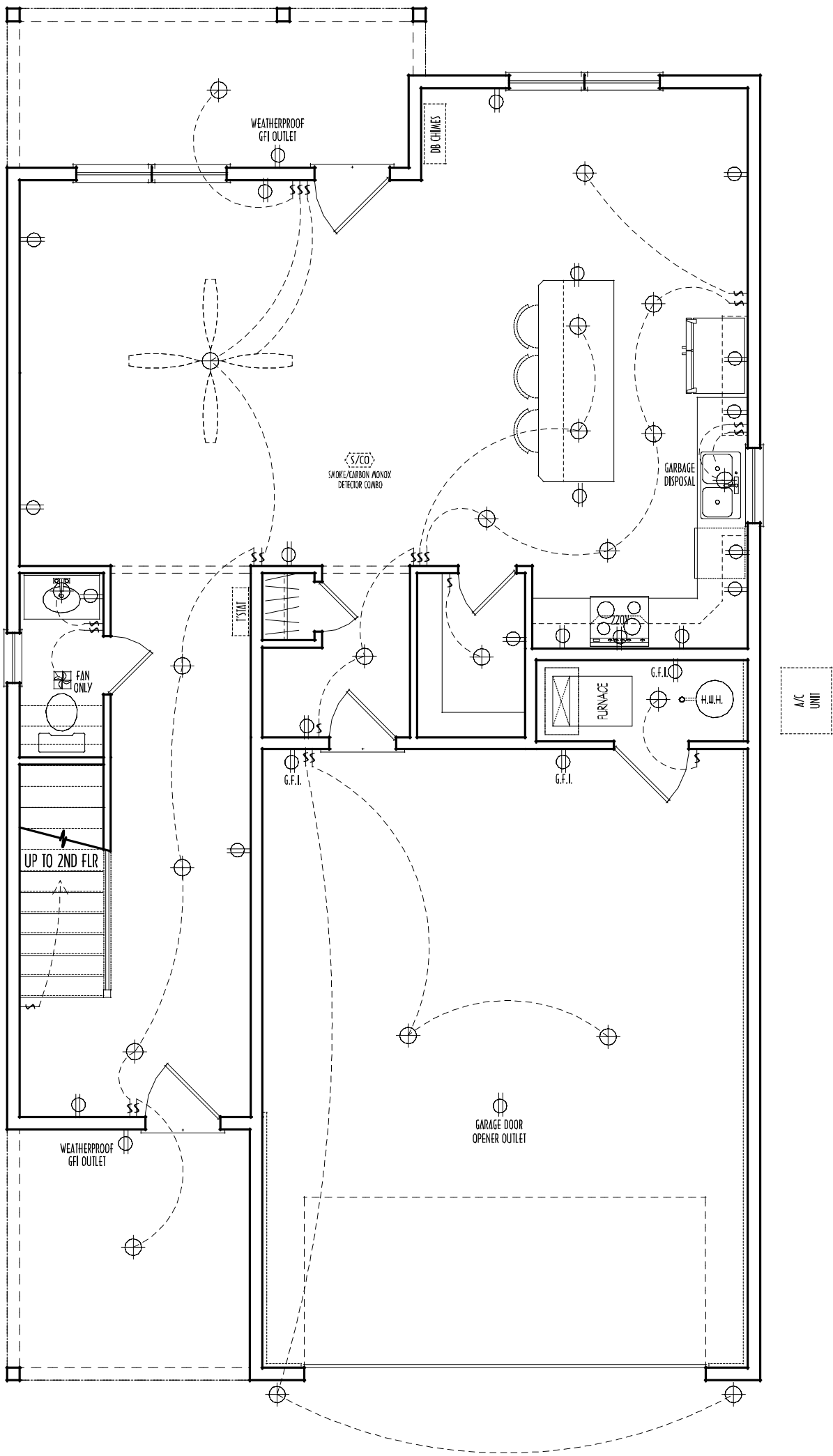
ALL INTERIOR STAIRWAYS SHALL BE ADEQUATELY ILLUMINATED FROM ABOVE BY CEILING OR WALL FIXTURES SWITCHED AT BOTH BOTTOM & TOP OF STAIR RUN



SECOND FLOOR ELECTRICAL PLAN

SCALE : 3/16" = 1'-0"

FOR REFERENCE ONLY - CONSULT ELECTRICIAN FOR FINAL ELECTRICAL PLAN



FIRST FLOOR ELECTRICAL PLAN

SCALE : 3/16" = 1'-0"

FOR REFERENCE ONLY - CONSULT ELECTRICIAN FOR FINAL ELECTRICAL PLAN

electrical prelims - for reference only

PRELIMINARY ELECTRICAL LAYOUTS ARE FOR REFERENCE ONLY - BUILDER & OWNER ARE TO WALK THE PROJECT AFTER FRAMING TO DETERMINE FINAL FIXTURE LAYOUT w/ ELECTRICIAN

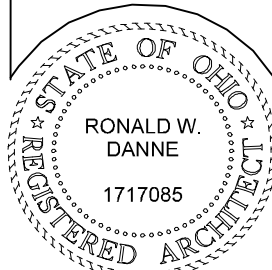
ELECTRICAL

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Danne
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B. Dowell
jhdowell3@gmail.com

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EXPIRATION DATE 2/3/2025

Revisions	By	Ln	Ln	Ln	Ln	Ln	Ln
6/14/23	6/26/23	7/7/23	8/7/23	8/1/23	12/19/23	2/2/24	2/26/24
...	...	...	...	...	...	...	...

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