



Design Review Board Meeting
Tuesday, May 10, 2022 - 5:00 PM
AGENDA

1. Call to Order
2. Roll Call
3. Approval of Minutes
 - a. April 12, 2022
4. Public Comments on Items Not on the Agenda
5. Application # Z-22-65 Certificate of Appropriateness; 555 S. Main Street TABLED April 12, 2022
 - a. Application and Staff Report
6. Application # Z-22-89 Certificate of Appropriateness; 800 W. Coshocton Street
 - a. Application and Staff Report
7. Other Business
8. Adjourn



Design Review Board
Tuesday, April 12, 2022 - 5:00 PM
MINUTES

1. Call to Order

Chairman Ashbrook called the Design Review Board meeting to order at 5:00 pm.

2. Roll Call

Present - Chairman Nathanael Ashbrook, Heather Green, Josh Harrison, Candice Evans
Absent - None

Staff present - Bailey Morlan - City Planner, Jim Blair - Zoning Inspector, Teresa Monroe - Clerk of Council

Public present - Walter Raub, Dave Pontia, Sean Staneart, Joseph Jorge, Andrew Lallathin

3. Public Comment

No public comments

4. Approval of Minutes

a. January 25, 2022

ACTION: Josh Harrison moved to approve; Nathanael Ashbrook seconded and the vote was as follows:

AYES: Harrison, Evans, Green, Ashbrook

NOES: None

ABSTAIN: None

Passed 4 - 0

5. Application # Z-22-65 Certificate of Appropriateness; 8 Coshocton Street

This application is for the construction of a new Bell Stores gas station; the existing gas station building and gas pumps will come down. The Planning Commission approved a Variance at the last meeting for the canopy; this application is for design of the new station. Applicant Joe George with CESO, the engineer of record along with Andrew Lallathin, the architect of record were in attendance for review. Mr. Lallathin addressed questions from the board on lighting. Candice Evans said she feels the building could be better integrated with the downtown space as far as the overall look, feels like it is a little commercialized for where they are trying to go with the downtown, feels the materials are ok at this point and understands branding but does not feel the red accents where it should. Josh Harrison said one idea on how to integrate this better into the downtown would be to consider an all brick building. Discussion on exterior materials, all brick options, wall signage options, green space, street lighting and right of way.

Public Comments:

1. Ryan Green; 408 Sunset

- Would like to see this match up better to the downtown area.
- Encouraged the Board to look at both zoning and design review documents
- Appreciates this upgraded model; adds that he likes the Maslin building design
- Wants to ensure a buffer for the residents behind
- Likes the look of the Short North UDF
- Would like to reduce the curb cut
- Would like to see other options for the logo sign
- Would like to see a screening option rather than the wall

2. Walter Raub; 320 S. Main

- Asked if the lots have been combined. Applicant answered this was in process.
- Would like to see the all brick option for the building
- Would like to see a softer barrier than the wall, some bushes or landscaping
- Likes the darker red, would like to see other signage options

3. Tod Huston; 104 Benedict Drive

- Appreciates the work in the Design Review Document but there are conflicts with the Zoning Code between the Historic District and GCC-1; asked what happens with the conflicts.
- Does not see this matching up with the historic opera house; a bit too commercial for the overlay district.
- Needs a lot of tweaking to make this building amenable with the downtown historic area

4. Sean Staneart; 8411 Jacob White Road

- Would like to see them incorporate brick that would match the opera house
- The flat roof buildings in the downtown are two story, applicant could go for that look. If keeping one story, would like to see a pitched roof
- Would like to see the outcropping extend further and incorporate more black or rod iron, the red is too loud
- Would like to see the same street lighting style in the downtown area be incorporated in the lighting plan
- Noted that the current green space shown in right of way shown could disappear if the road was ever widened
- Concern for ingress/egress onto Oregon Street, curious if traffic study has been done, concern trucks could try to enter/exit there.
- Side walls look blank, would recommend adding the look of windows
- Also referenced liking the Short North UDF

- Referenced Kroger's secondary pay area underneath the canopy

Public comments closed

Applicant to take all comments into consideration.

ACTION: Mr. Ashbrook moved to table the application; Mr. Harrison seconded and the vote was as follows:
AYES: Josh Harrison, Candice Evans, Nathanael Ashbrook
NOES: None
ABSTAIN: Heather Green; works for CESO

Motion to table passed 3 - 0

a. Bell Stores COA application & Staff report

6. Other Business

7. Adjourn

Candice Evans moved to adjourn, Heather Green seconded and all were in favor. Motion carried 4-0.

Meeting adjourned at 5:58 pm

New Convenience Store for: BELLSTORES - JOHNSTOWN STORE

8 W. Coshocton St.
Johnstown, OH, 43031



OWNER

BELLSTORES
7977 Hills and Dales Rd NW
Massillon, OH 44862
P: 330-832-6725
Contact: JP Philips

ARCHITECT

S&L Harris/Day Architecture
6577 Frank Avenue NW
North Canton, OH 44720
P: 330-493-3722
Contact: Andrew Lallathin

CIVIL ENGINEER

CE50
2800 Corporate Exchange Dr. #400
Columbus, OH 43231
P: 614-794-7080
Contact: Joseph Jorge

STRUCTURAL ENGINEER

THORSON BAKER & ASSOCIATES
3030 W. Streetsboro Rd.
Richfield, OH 44286
P: 330-657-6668
Contact: Randall Tonelli

MECHANICAL ENGINEER

THORSON BAKER & ASSOCIATES
3030 W. Streetsboro Rd.
Richfield, OH 44286
P: 330-657-6668
Contact: David Anderson

ELECTRICAL ENGINEER

THORSON BAKER & ASSOCIATES
3030 W. Streetsboro Rd.
Richfield, OH 44286
P: 330-657-6668
Contact: Alexander Kauntz

ARCHITECTURAL

PR.1 PROJECT COVER SHEET
PR.2 EXISTING SITE PLAN
PR.3 EXISTING BUILDING ELEVATIONS
PR.4 PROPOSED SITE PLAN
PR.5 SITE DETAILS
PR.6 FIRST FLOOR PLAN
PR.7 EXTERIOR ELEVATION - SOUTH
PR.8 EXTERIOR ELEVATION - EAST
PR.9 EXTERIOR ELEVATION - NORTH
PR.10 EXTERIOR ELEVATION - WEST
PR.11 CANOPY ELEVATION - SOUTH
PR.12 CANOPY ELEVATION - EAST
PR.13 CANOPY ELEVATION - NORTH
PR.14 CANOPY ELEVATION - WEST
PR.15 PERSPECTIVE VIEW
PR.16

BUILDING KEY PLAN / RENDERING

PROJECT TEAM

A ANCHOR BOLT A.F.F. ABOVE FINISH FLOOR ALT ALTERNATE AL ALUMINUM B.S. BOARD BLDG. BUILDING BM BENCH MARK BOT BOTTOM BRG. BEARING C.B. CATCH BASIN C.C. CENTER TO CENTER C.J. CONTROL JOINT CLD CEILING CLR CLEAR CMU CONCRETE MASONRY UNIT C.O. CLEAN OUT COL COLUMN CONC CONCRETE CONT CONTINUOUS CORR CORROSION C.T. CERAMIC TILE C.W. COLD WATER D.F. DRAINING FOUNTAIN DA DIAMETER DM DIMENSION DN DOWN D.S. DOWNSPOUT	AT ANCHOR BOLT ALT ALTERNATE AL ALUMINUM B.S. BOARD BLDG. BUILDING BM BENCH MARK BOT BOTTOM BRG. BEARING C.B. CATCH BASIN C.C. CENTER TO CENTER C.J. CONTROL JOINT CLD CEILING CLR CLEAR CMU CONCRETE MASONRY UNIT C.O. CLEAN OUT COL COLUMN CONC CONCRETE CONT CONTINUOUS CORR CORROSION C.T. CERAMIC TILE C.W. COLD WATER D.F. DRAINING FOUNTAIN DA DIAMETER DM DIMENSION DN DOWN D.S. DOWNSPOUT	DTL DETAIL DWG DRAWING EA EACH E.E.J. ELECTRICAL JOINT ELEC ELECTRICAL EQ EQUIPMENT EXP EXPANSION EXT EXTERIOR F.D. FLOOR DRAIN F.F. FLOOR FINISH FTG FOOTING GA GAUGE GLV GALVANIZED GC GENERAL CONTRACTOR GP GUTTER H.M. HOLLOW METAL HT HEIGHT HTG HEATING H.W. HOT WATER INSUL INSULATION INT INTERIOR JNT JOINT JST JOINT	LAV LAVATORY M.S. MASONRY MATL MATERIAL MAX MAXIMUM MECH MECHANICAL MFG MANUFACTURER M.K. MANHOLE MNM MASONRY MISC MISCELLANEOUS MTL METAL N.C. NOT IN CONTRACT NO NUMBER NOM NOMINAL N.T.S. NOT TO SCALE O.C. ON CENTER OPNG OPENING PL PLATE PLAM PLASTIC LAMINATE PLUMB PLUMBING PROP PROPERTY R RISER RAD RADIUS REIN REINFORCED (MENT) REQD REQUIRED R.O. ROUGH OPENING SAN SANITARY	S.C. SOLID CORE SCHED SCHEDULE SHT SHEET SM STEEL SPEC SPECIFICATION S.S. STAINLESS STEEL STL STEEL STR STRUCTURE T TREAD T&G TONGUE & GROOVE TRK THICKNESS T.O.F. TOP OF FOUNDATION T.O.M. TOP OF MASONRY T.O.S. TOP OF STEEL TYP TYPICAL V VENT VCT VINYL COMP. TILE VERT VERTICAL W WITH WC WATER CLOSET W/O WITHOUT WWM WIRE WELDED MESH W.W. WOOD W.W. WIRE WELDED MESH
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ZONING REGULATION INFORMATION

ABBREVIATIONS

LOCATION MAP



DRAWING LIST

New Convenience Store for:



PROJECT NO.	DATE	DESCRIPTION
21.032	5/3/2022	

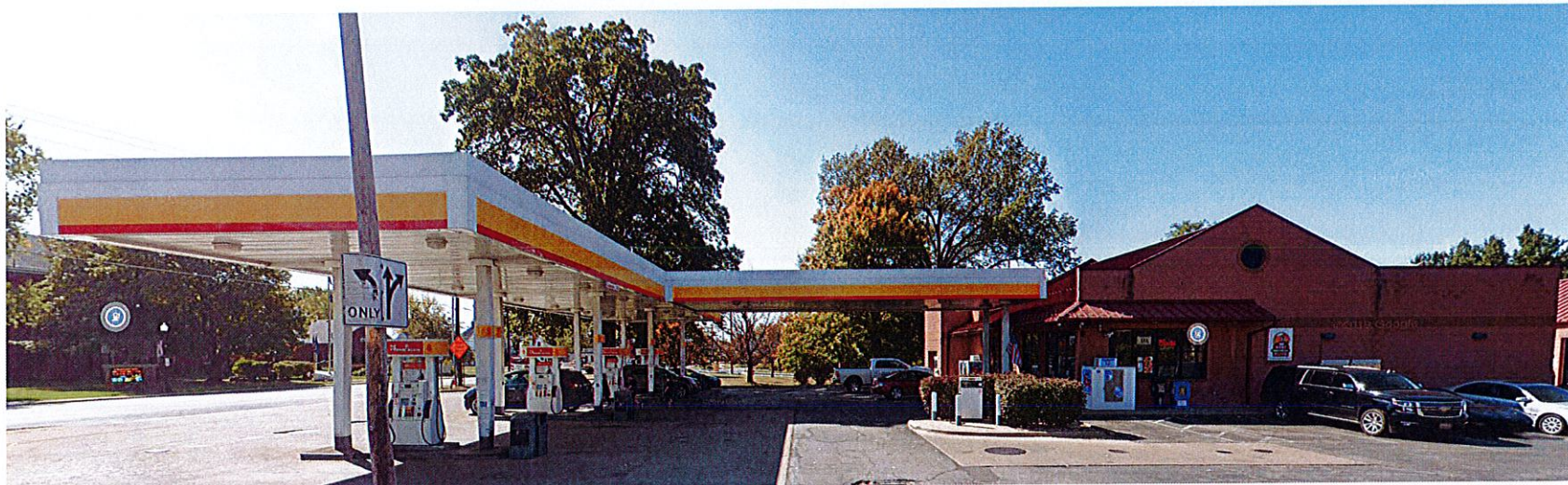
PROJECT COVER SHEET

PR.1



S&L Harris/Day
Architecture
6577 Frank Avenue NW, North Canton, OH 44720 330-493-3722 www.sldharrisday.com

Design Review Board Submission



C1 EXISTING ELEVATION - CANOPY EAST
NOT TO SCALE



A3 EXISTING ELEVATION - CANOPY SOUTH
NOT TO SCALE



A1 EXISTING ELEVATION - STORE EAST
NOT TO SCALE

New Convenience Store for:



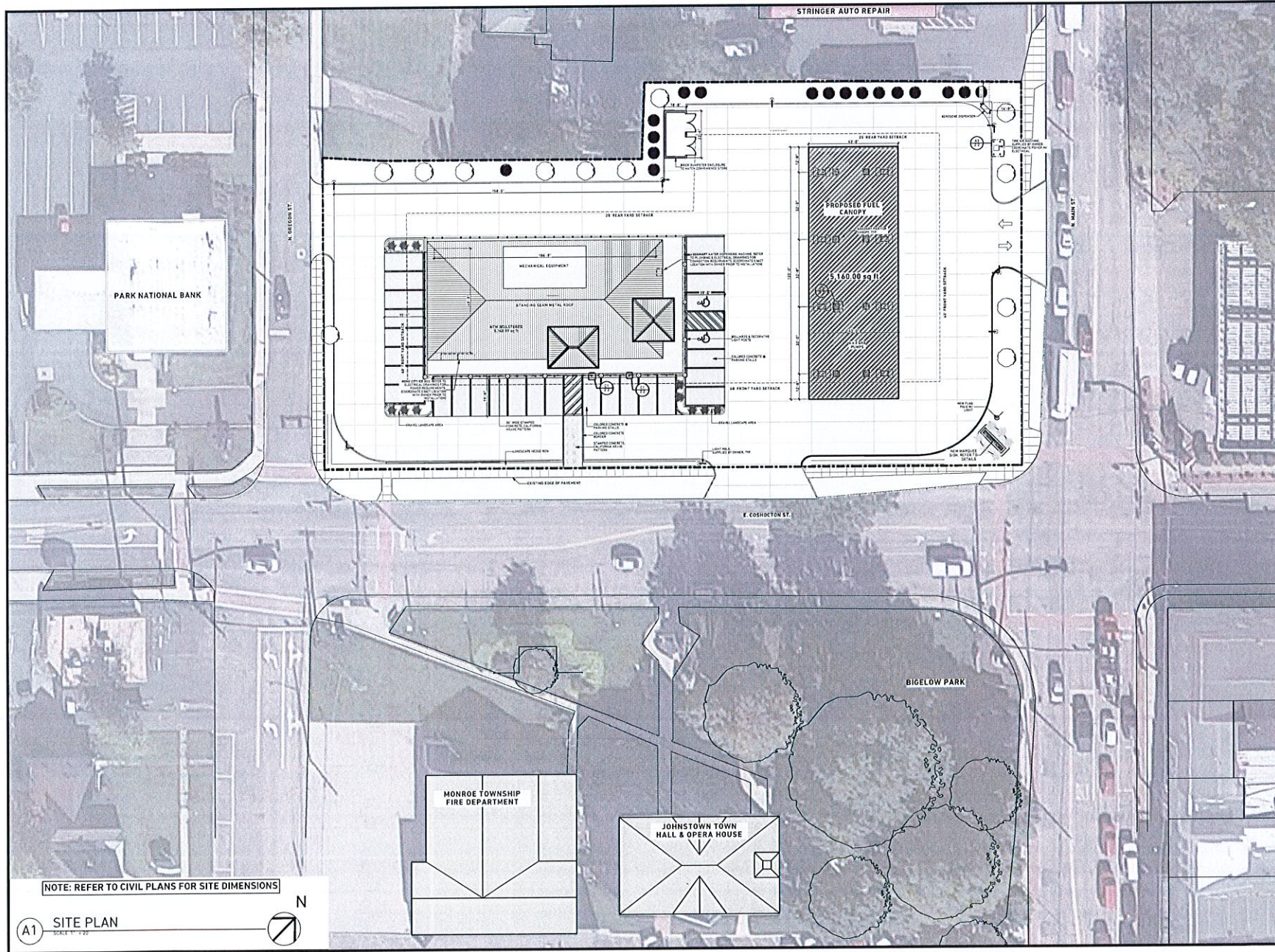
**BELLSTORES -
JOHNSTOWN STORE**
8 W. Coshocton St.
Johnstown, OH 43031

DATE	DESCRIPTION

PROJECT NO: 21.032
DATE: 5/3/2022

EXISTING BUILDING
ELEVATIONS

PR.3



BelStores
KEEP THE FAMILY ON FULL
BELLSTOWN STORE
8 W. Coshocton St.
Johnstown, OH 43031

sol Harris/Day
of architecture
Designed for People. Designed for Life.
6677 Frank Avenue NW, North Canton, OH 44720 | 330.493.3722 | www.sollariday.com

MARK	DATE	DESCRIPTION

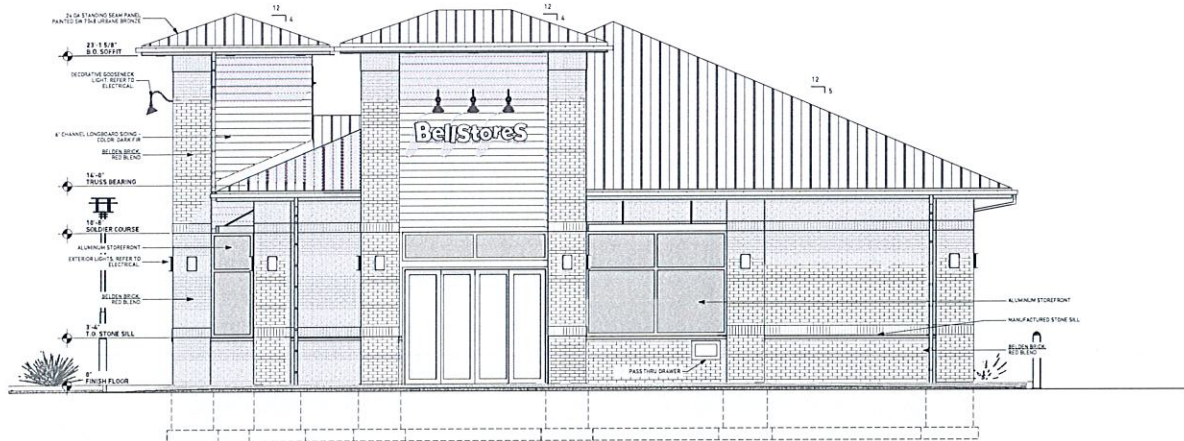
PROJECT NO: 21.032
DATE: 5/3/2022

ARCHITECTURAL
SITE PLAN

PR.4



Page 9 of 34



C2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION NOTES/LEGEND

- BRICK VENEER "TYPE B-1"
- METAL WALL PANEL "TYPE M-1"
- CAST STONE "TYPE CS-1"
- COMPOSITE PANEL "TYPE CP-1"
- CONCRETE UNIT MASONRY "CMA-1"
- MANUFACTURED SIMULATED STONE VENEER "SSV-1"
- WOOD "W-1"
- EXPOSED CONCRETE "EC-1"
- STANDING SEAM METAL ROOFING "E-1"
- ASPHALT SHINGLES "AS-1"
- CLAY ROOF TILE "CT-1"
- EPS "EFS-1"
- COMPOSITE ROOF TILE "CRT-1"
- EXISTING EXTERIOR MATERIAL TO REMAIN (SHOWN SHADDED AND NOTED)
- INDICATES FLOOR ELEVATIONS, TOP OF STEEL, TOP OF MASONRY, TOP OF ELEVATIONS (REFER TO STEEL FRAMING DRAWINGS & FOUNDATION SECTIONS AND WALL SECTIONS ALSO FOR MORE INFORMATION)
- INDICATES ROOF PITCH / SLOPE
- INDICATED FINISH GRADE (SEE SITE DRAWINGS)

- NOTES:
- SEE "B" SERIES DRAWINGS FOR EXTERIOR WINDOW AND DOOR ELEVATIONS AND INFORMATION.
 - EXTERIOR ELEVATIONS INDICATE EXTENT OF MATERIALS AND BUILDING LAYOUT / ELEVATION ONLY. SEE "F" SERIES DRAWINGS FOR COMPLETE WALL SECTIONS / DETAILS.
 - SEE TITLE SHEET FOR ABBREVIATIONS - TYP.



- LONGBOARD SIDING - DARK FIR
- METAL ROOF - URBANE BRONZE

- BELDEN BRICK - BELCREST 500

Sol Harris/Day
Architecture
4637 Faye Avenue NW, North Canton, OH 44721 (330) 493-3722 | www.soharriyday.com

Designed for Project: Designed for L.L.

Design Review Board Submission

New Convenience Store for:

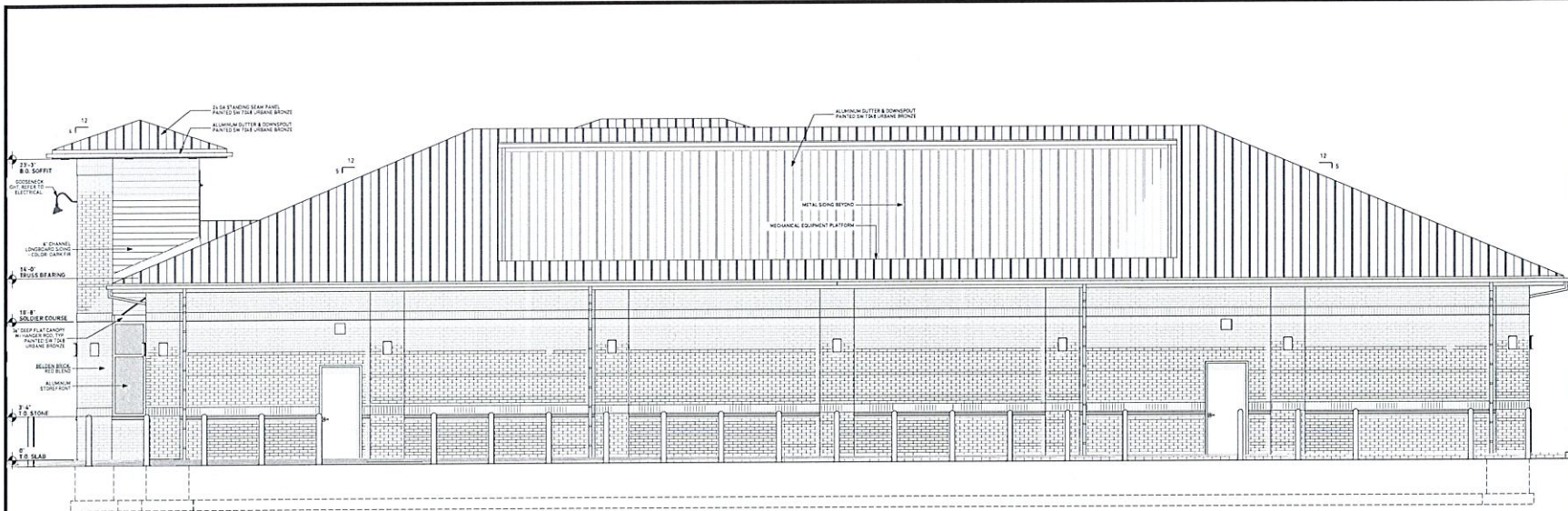
BellStores
KEEP THE FAMILY ON FULL
BELLSTOWN STORE
8 W. Coshocton St.
Johnstown, OH 43031

NO.	DATE	DESCRIPTION

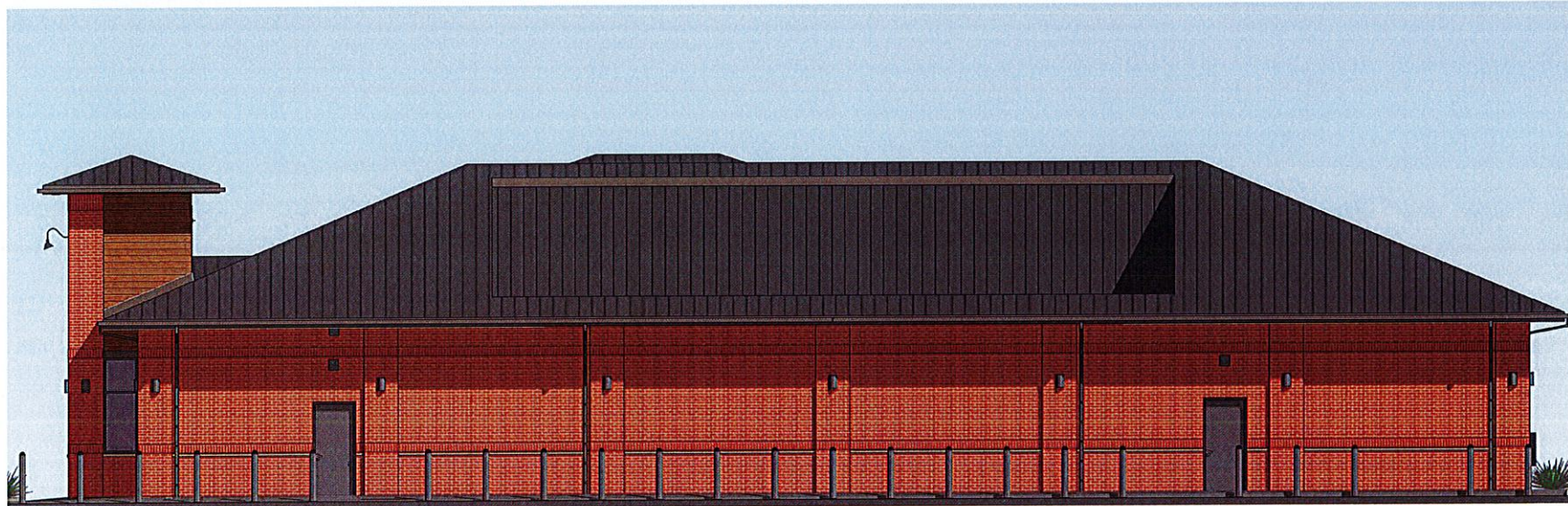
PROJECT NO: 21.032
DATE: 5/3/2022

EXTERIOR
ELEVATION - EAST

PR.8



C1 NORTH ELEVATION
SCALE 1/8" = 1'-0"



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Design Review Board Submission



New Convenience Store for:

NO.	DATE	DESCRIPTION

PROJECT NO: 21.032
DATE: 5/3/2022

EXTERIOR
ELEVATION -
NORTH

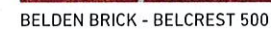
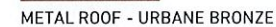
PR.9



-  BRICK VENEER "TYPE B₁"
 METAL WALL PANEL "TYPE M₁"
 CAST STONE "TYPE C₁"
 COMPOSITE PANEL "TYPE CP₁"
 CONCRETE UNIT MASONRY "CMP₁"
 MANUFACTURED SIMULATED STONE VENEER "SSV₁"
 WOOD "W₁"
 EXPOSED CONCRETE "EC₁"
 STANDING SEAM METAL ROOFING "C₁"
 ASPHALT SHINGLES "AS₁"
 CLAY ROOF TILE "CT₁"
 EPS "EPS₁"
 COMPOSITE ROOF TILE "CRT₁"
 EXISTING EXTERIOR MATERIAL TO REMAIN (SHOWN SHaded AND NOTED)
 --- INDICATES FLOOR ELEVATION, TOP OF STEEL (IT'S), TOP OF MASONRY (IT'S), ELEVATION REFER TO STEEL FRAMING JOINTS. DRAWING SECTIONS AND WALL SECTION ALSO FOR MORE INFORMATION.
 12
 4 INDICATES ROOF PITCH 4/12 SLOPE
 --- INDICATES FINISH GRADE (SEE SITE DRAWINGS)

NOTES

- NOTES:**
1. SEE "B" SERIES DRAWING FOR EXTERIOR WINDOW AND DOOR ELEVATIONS AND INFORMATION.
 2. EXTERIOR ELEVATIONS INDICATE EXTENT OF MATERIALS AND BUILDING LAYOUT / ELEVATION ONLY. SEE "F" SERIES DRAWING FOR COMPLETE WALL SECTIONS / DETAILS.
 3. SEE TITLE SHEET FOR ABBREVIATIONS - TYP.

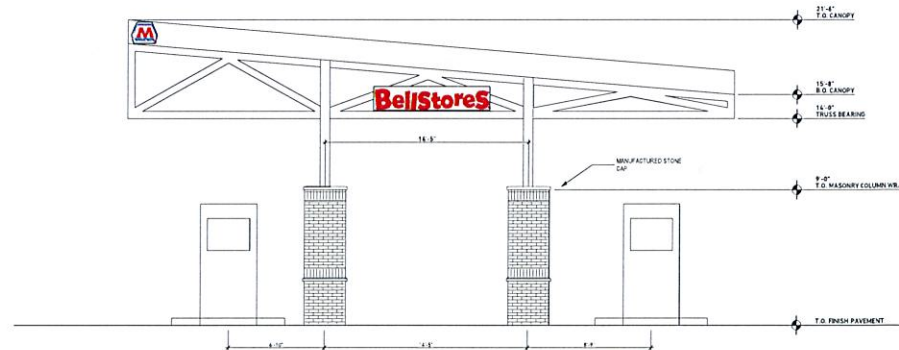


New Convenience Store for:



EXTERIOR
ELEVATION - WEST

PR.10



(C1) FUEL CANOPY ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



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Design Review Board Submission

New Convenience Store for:

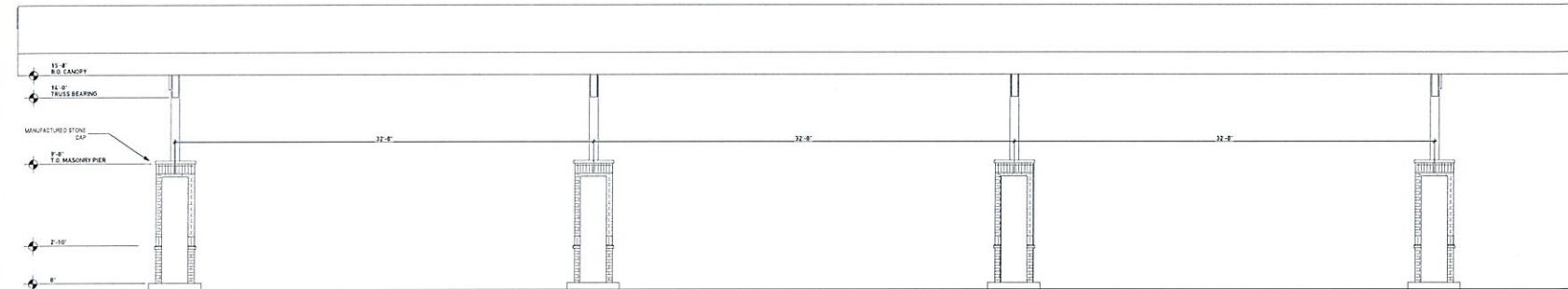


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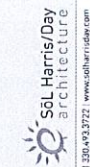
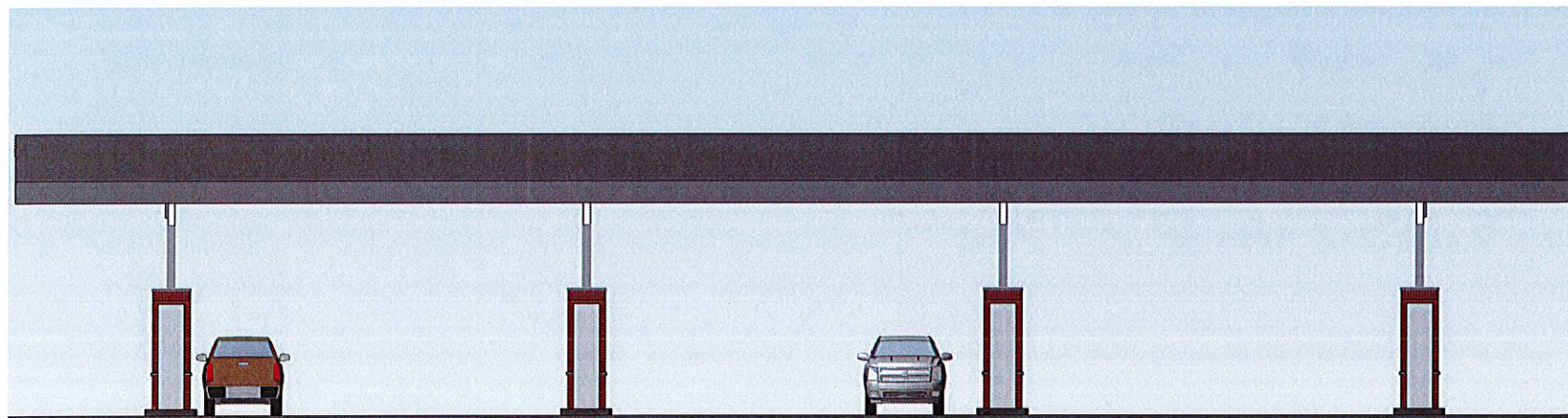
PROJECT NO: 21.032
DATE: 5/3/2022

CANOPY ELEVATION
- SOUTH

PR.11



C1 FUEL CANOPY ELEVATION - EAST
SCALE: 1/8" = 1'-0"



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architecture
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Design Review Board Submission

New Convenience Store for:



BELLSTORES -
JOHNSTOWN STORE
Johnstown, OH 43031

REVISION	DATE	DESCRIPTION

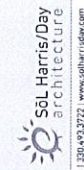
PROJECT NO: 21.032
DATE: 5/31/2022

CANOPY ELEVATION
- EAST

PR.12



C1 FUEL CANOPY ELEVATION - NORTH
SCALE 1/2" = 1'-0"



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Design Review Board Submission

New Convenience Store for:



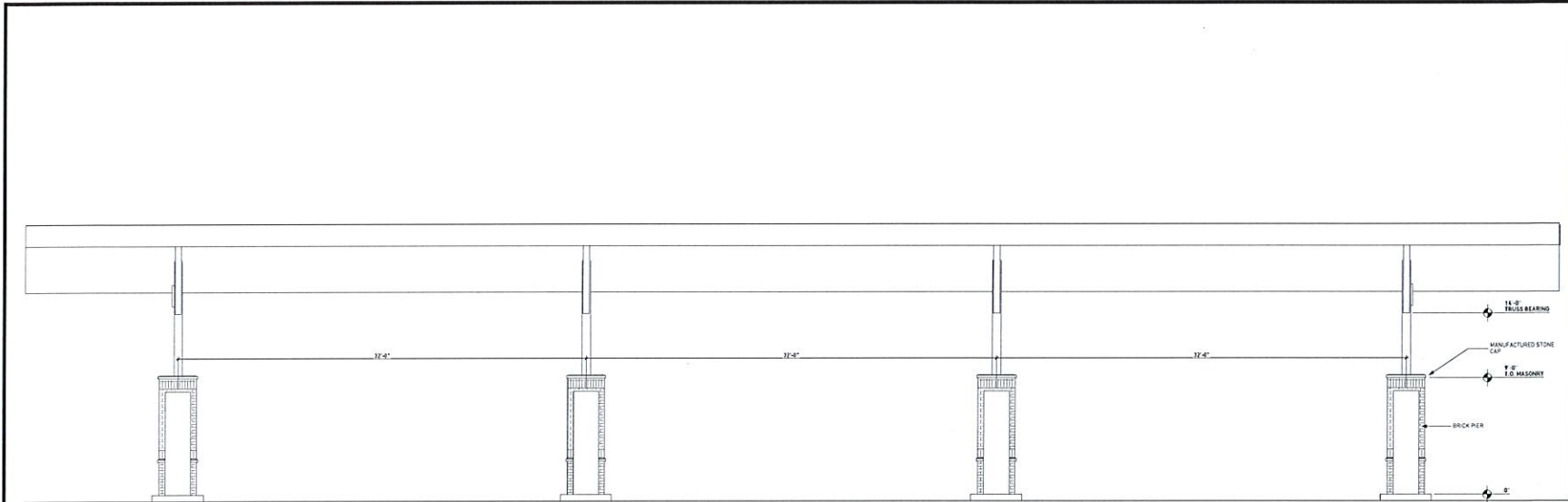
BELLSTORES -
JOHNSTOWN STORE
Johnstown, OH 43031

REVISION	DATE	DESCRIPTION

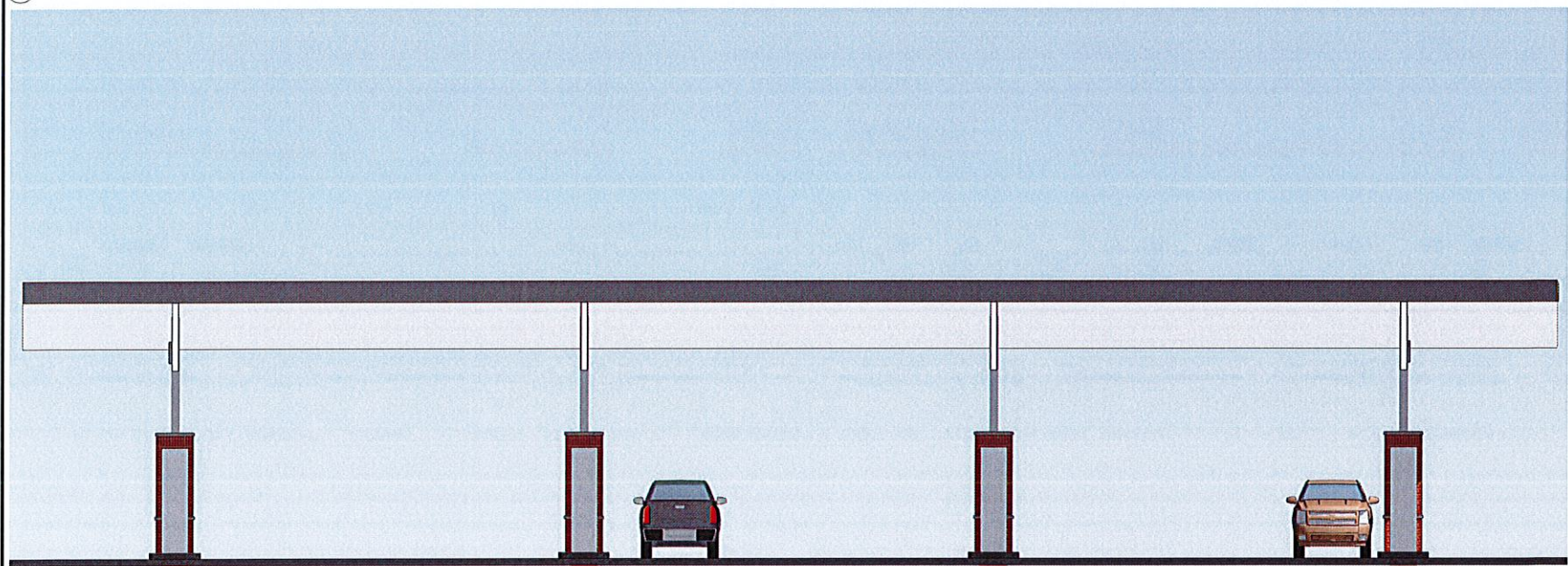
PROJECT NO: 21.032
DATE: 5/31/2022

CANOPY ELEVATION
- NORTH

PR.13



C1 FUEL CANOPY ELEVATION - WEST
SCALE 1/4" = 1'-0"



New Convenience Store for:



REVISION	DATE	DESCRIPTION

PROJECT NO: 21.032
DATE: 5/3/2022

CANOPY ELEVATION
- WEST

PR.14



New Convenience Store for:

BellStores.
KEEP THE FAMILY ON FULL.
BELLSTORES -
BELLSTOWN STORE
8000 Belltown Rd.
Johnstown, OH 43031

REVISION	DATE	DESCRIPTION

PROJECT NO: 21-032
DATE: 5/3/2022

PERSPECTIVE VIEW

PR.15



S&L Harris/Day
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Design Review Board Submission

New Convenience Store for:



BELLSTORES -
JOHNSTOWN STORE
8000 ROUTE 150
JOHNSTOWN, OH 43031

MARK	DATE	DESCRIPTION

PROJECT NO: 21.032
DATE: 5/3/2022

PERSPECTIVE VIEW

PR.16

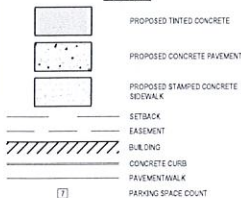


 **BellStoreS**
PROPOSED STORE: JOHNSTOWN, OH



 **BellStores.**
PROPOSED STORE: JOHNSTOWN, OH

PROPOSED



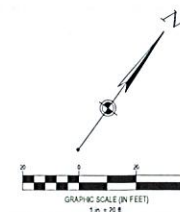
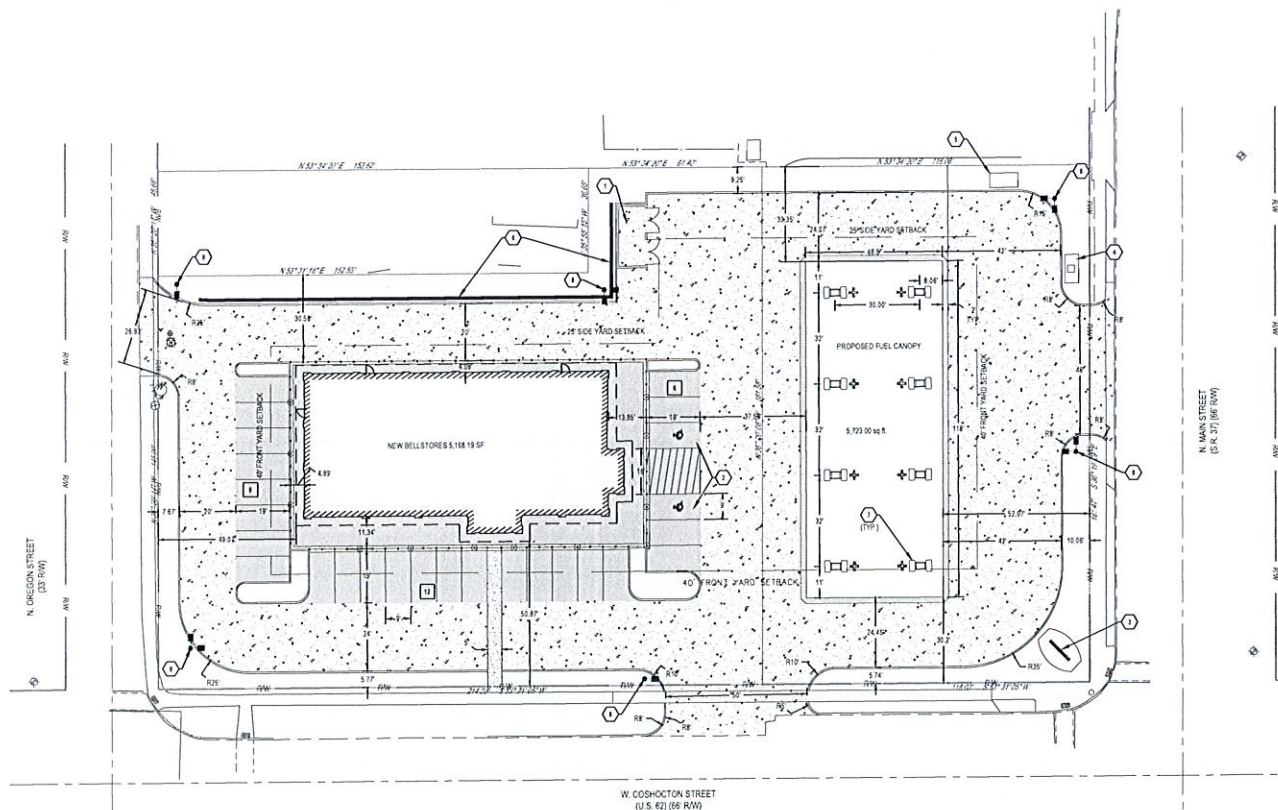
PARCEL OWNER	CAMPBELL REAL ESTATE, LTD
PARCEL ID	053-178032-00-000, 053-182214-00-001
ADDRESS	8 WEST COSCHOCTON STREET JOHNSTOWN, OH 43031
PROPERTY AREA	1.248 ACRES
ZONING	GGC-1 GENERAL COMMUNITY COMMERCIAL
PROPOSED USE	C-STORE/FUELING STATION

	<u>REQUIRED</u>	<u>PROPOSED</u>
BUILDING SETBACKS		
FRONTAGE ALONG STREET	40 FT	50.8 FT
REAR	25 FT	30.8 FT
CANOPY SETBACKS		
FRONTAGE ALONG STREET	40 FT	30.2 FT (VARIANCE GRANTED)
REAR	25 FT	34.7 FT
MAXIMUM BUILDING HEIGHT	40 FT	28 FT
MAXIMUM MONUMENT SIGN SIZE	50 SF	50 SF
MAXIMUM MONUMENT SIGN HEIGHT	15 FT	8 FT
MAXIMUM IMPERVIOUS AREA	90%	16.7%
MINIMUM DRIVE AISLE	20 FT	20 FT
PARKING		
TOTAL PARKING SPACES	1 SPACE PER 200 GFA	
	5100 / 200 = 25	24
ADA PARKING SPACES	2	2
PARKING SPACE DIMENSION	8'x12'	8'x12'

FLOODPLAIN DESIGNATION THIS PROPERTY IS LOCATED IN ZONE X, A ZONE DESCRIBED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN ON FLOOD INSURANCE RATE MAP, LACKING COUNTY, OHIO, PANEL NO. 3908900143J, EFFECTIVE DATE MARCH 18, 2015

 CODED NOTES:

1. PROPOSED TRASH ENCLOSURE PER LOCAL REQUIREMENTS. SEE ARCHITECTURAL PLAN FOR DETAIL.S.
2. ADA ACCESSIBLE PARKING SPACE WITH SIGNAGE. REFER TO CONSTRUCTION DETAIL.S.
3. PROPOSED FUEL INFORMATION MONUMENT SIGN. SEE ARCHITECTURAL PLANS FOR DETAIL.S.
4. PROPOSED AIR PUMPS. SEE ARCHITECTURAL PLANS FOR DETAIL.S.
5. PROPOSED KEROSENE DISPENSER. SEE ARCHITECTURAL PLANS FOR DETAIL.S.
6. PROPOSED MAXIMUM 2 FOOT HIGH RETAINING WALL.
7. PROPOSED FUELING DISPENSERS (12). SEE ARCHITECTURAL PLANS FOR DETAIL.S.
8. PROPOSED LIGHT POLE.



● BENCHMARK

BW-1*	ORIGED "X" ON SAFETY BEER RUN Elev = 1153.90
BW-2*	ORIGED "X" ON THE BOLT OF A SIGNAL POLE Elev = 1158.24
BW-3*	ORIGED "X" ON THE BOLT OF FIRE HYDRANT Elev = 1158.22



FORTY- EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTORS SHALL NOTIFY THE FOLLOWING AGENCIES OHIO UTILITIES PROTECTION SERVICE AT 811 OR 1 (800) 362-2764 AND ALL OTHER AGENCIES WHICH MIGHT HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NONMEMBERS OF OHIO UTILITIES PROTECTION SERVICE

ISSUE	
NOT FOR CONSTRUCTION	
DATE	
5/3/2022	
JOB NO.	76033
DESIGN	TPL
DRAWN	TPL
CHECKED	BH
SHEET NO.	
EX-1	

[illegible]

CAMPBELL OIL
BELLSTORES
JOHNSTOWN, OH

ZONING
SITE PLAN

CITY OF JOHNSTOWN

STAFF REPORT - COA

Application Number: Z-22-65
Property Address: 8 Coshocton Street
Commission Date: 4/12/2022

Applicant: Joseph Jorge
Zoning District: GCC-1

Project Narrative:

The applicant is requesting a Certificate of Appropriateness Design Review approval for the construction of a new building at 8 Coshocton Street. The property is being used as a gas station. The applicant is proposing to demolish the current structure and build a new, larger station. The proposed structure is approximately 5,100 square feet. The applicant also plans to construct a new fueling canopy that will be approximately 5,700 square feet.

The exterior design of the building will feature natural colors in browns, tans and grays. Building materials will consist of a mix including brick, wood, and cement. The natural materials will be used on all four elevations. Windows feature along the front of the building. Metal and aluminum materials features in the roof and windows are proposed to be red as is the lettering in the Bellstores sign on both the building and fuel canopy. The trash structures will be in the rear of the property and enclosed in brick to match the brick on the main building. A low brick wall has been proposed on the US 62 side of the property to delineate the pavement area from the street and sidewalk.

The parcel in question is in a General Community Commercial 1 zoning district and the Corridor design review district.

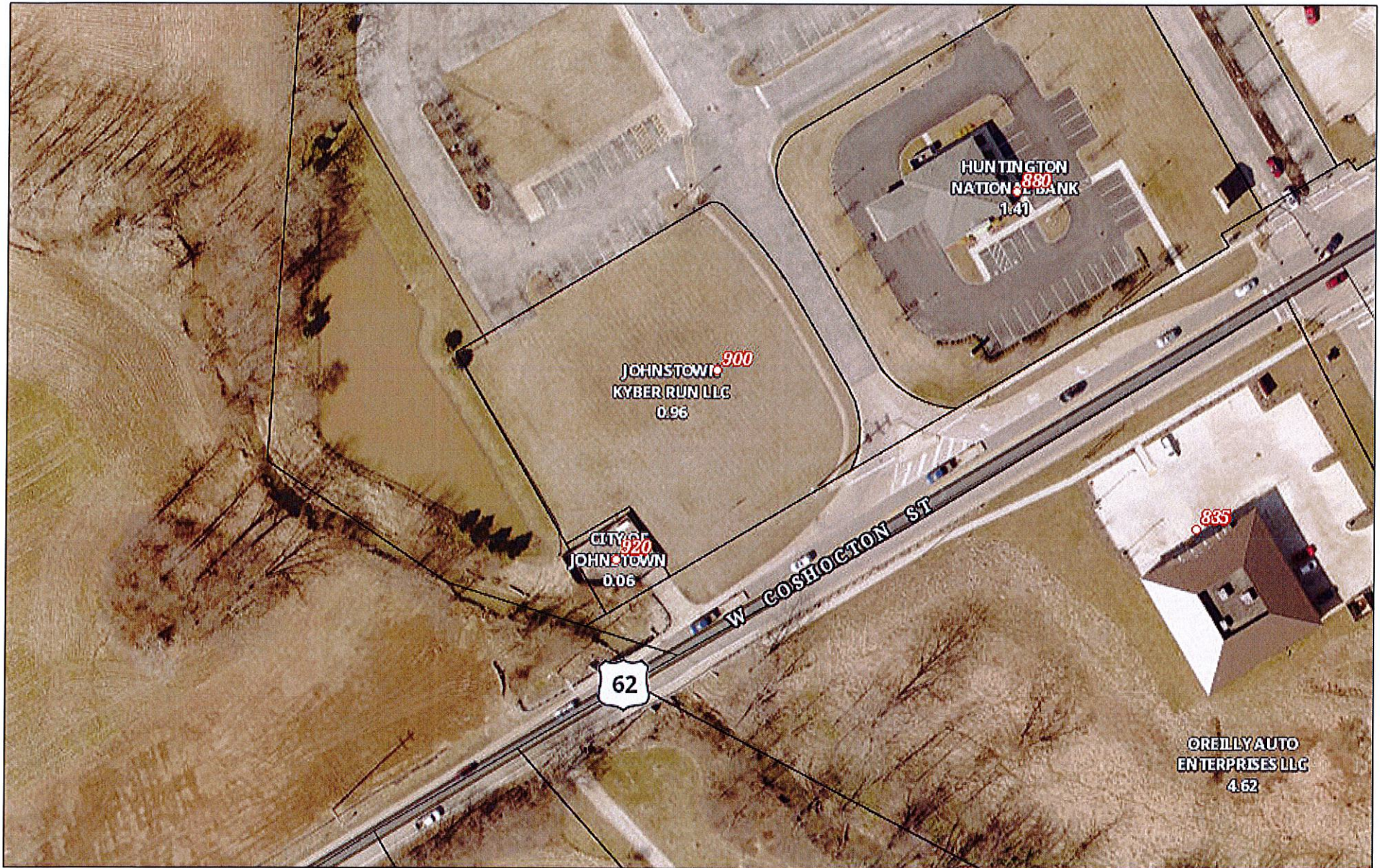
1187.08 Criteria for Evaluation of Application for Certification of Design Appropriateness

In considering the appropriateness of any proposed environmental change, including landscaping or exterior signage, the Board or Village staff member shall consider the following, as a part of its review:

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- b) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- c) The visual and functional components of the building and its site, including but not limited to landscape design and plant materials, lighting, vehicular and pedestrian circulation, and signage.
- d) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

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 - g) Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.
 - h) Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures if appropriate shall be undertaken using the gentlest means possible.
 - i) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
 - j) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.
 - k) Significant archeological resources affected by a project shall be protected and preserved, if such resources must be disturbed, mitigation measures shall be undertaken.
 - l) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
-

OnTrac Property Map



May 5, 2022

- Street Number Only
- Sales - 2022
- Owner Name & Acres
- Centerline Labels
- Interstate/US/State Route
- County Road

0 94 Feet
Township Road
0.02 Miles
Other Road Type
Driveway
Licking County Auditor GIS

- Interstates
- Municipal Corporations
- Jurisdictional Townships

LICKING COUNTY TAX MAP



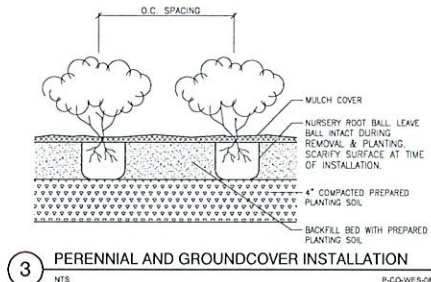
URGENT CARE - JOHNSTOWN, OH • CONCEPTUAL RENDERINGS • 04.19.22

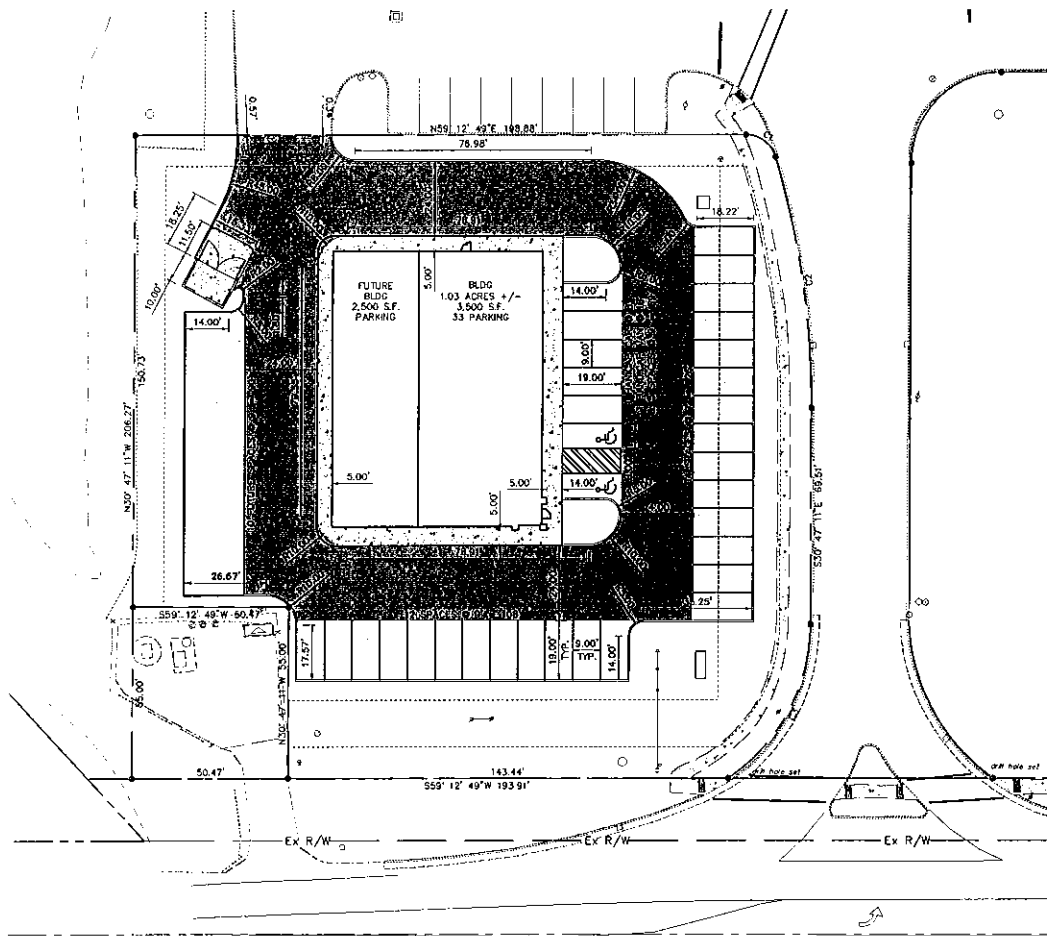


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CURVE TABLE				
CURVE #	RADIUS	DELTA	LENGTH	CHORD LENGTH
1	14.00'	18.75'	10.00'	10.00'
2	14.00'	18.75'	10.00'	10.00'
3	14.00'	18.75'	10.00'	10.00'
4	14.00'	18.75'	10.00'	10.00'
5	14.00'	18.75'	10.00'	10.00'
6	14.00'	18.75'	10.00'	10.00'
7	14.00'	18.75'	10.00'	10.00'
8	14.00'	18.75'	10.00'	10.00'
9	14.00'	18.75'	10.00'	10.00'
10	14.00'	18.75'	10.00'	10.00'
11	14.00'	18.75'	10.00'	10.00'
12	14.00'	18.75'	10.00'	10.00'



R-121-24

LEGEND

- PROPOSED HEAVY DUTY PAVEMENT
- PROPOSED LIGHT DUTY PAVEMENT
- PROPOSED SIDEWALK/CONCRETE
- FUTURE LIGHT DUTY PAVEMENT

CODED NOTES

1. PROPOSED CONCRETE ISLAND WITH MOUNTABLE CURB (4" HEIGHT)
2. PROPOSED ADA COMPLIANT CURB RAMP
3. PROPOSED CONCRETE CURB (6" HEIGHT)
4. PROPOSED WHEEL STOP (TYP.)
5. PROPOSED TRASH ENCLOSURE, (SEE ARCH. PLANS)
6. PROPOSED CONCRETE SIDEWALK
7. PROPOSED MONUMENT SIGN
8. APPROXIMATE ALIGNMENT OF FUTURE ROAD EXTENSION
9. PROPOSED SIGN OWA-1-18 (TYP.)
10. PROPOSED TREE LIMITS
11. PROPOSED CENTERLINE OF DITCH
12. PROPOSED SIGN R-121-24

SITE WORK GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE TOWNSHIP, CITY, COUNTY AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH RESPECTIVE UTILITY COMPANIES.
3. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THE PROJECT; FAILURE TO DO SO MAY RESULT IN REMOVAL AND REPLACEMENT OF THE DEFECTIVE WORK. IT IS RECOMMENDED THAT THE DEVELOPER HAVE QUALIFIED INSPECTOR ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
4. IT IS ESSENTIAL THAT THE WORK TO BE DONE IN CONJUNCTION WITH THIS PROJECT SHALL BE INSTALLED ACCORDING TO THESE SPECIFICATIONS. THE ENGINEER WILL BE REQUIRED TO CERTIFY TO CERTAIN PORTIONS OF THIS PROJECT UPON COMPLETION. THEREFORE IT IS NECESSARY TO OBTAIN APPROVAL AND ACCEPTANCE BY THE CITY THAT CONSTRUCTION WAS DONE IN COMPLIANCE WITH THESE PLANS AND SPECIFICATIONS.
5. ALL QUANTITIES GIVEN ON THE PRINTS, VERBALLY OR IN THE SCOPE OF WORKS SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTOR.
6. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS, FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
7. EXCAVATIONS EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.

SITE PLAN NOTES

1. ALL RADII AND STREET DIMENSIONS SHALL BE MEASURED TO FACE OF CURB OR FACE OF INTEGRAL CURB AND WALK. ALL DIMENSIONS TO THE BUILDING ARE TO THE OUTSIDE OF BUILDING FOUNDATION WALL.
2. BEARINGS, DIMENSIONS, AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
3. SEE ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
4. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
5. SEE UTILITY PLAN FOR WATER, SANITARY, AND STORM STRUCTURE LOCATIONS AND INFORMATION.
6. SEE SHEET 14 FOR DETAILS REFERENCED.
7. ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
8. MAXIMUM CROSS SLOPE ON SIDEWALKS IS 1/4" PER FOOT

SITE DATA

ADDRESS: XX W. CENTRAL AVE., DELAWARE, OHIO 43015
 PID: TO BE SPLIT OUT OF 5193310100300
 AREA: MINIMUM: 30,000 S.F.
 PROPOSED: 54,971 S.F. (1.262 ACRES)
 ZONING: EXISTING: B-1 (NEIGHBORHOOD BUSINESS DISTRICT)
 USE: EXISTING: VACANT
 PROPOSED: MEDICAL
 PROPOSED BUILDING AREA: 3,754 S.F.
 BUILDING HEIGHT: MAXIMUM = 35'-0"
 BUILDING COVERAGE: MAXIMUM: 35%
 PROPOSED = 3,754 / 54,971 = 6.8%
 LOT COVERAGE: MAXIMUM: 65%
 PROPOSED = 19,950 / 54,971 = 36.3%
 VEHICLE PARKING: 1 SPACE PER 200 S.F.
 TOTAL REQUIRED PARKING = 3,754/200 = 19
 TOTAL PROPOSED PARKING = 25 (2 ADA & 23 STANDARD)
 FEMA DATA:
 ZONE X AREA OF MINIMAL FLOOD HAZARD PER MAP
 30041C011K EFFECTIVE 04/16/2009



GRAPHIC SCALE
 1" = 40' (IN FEET)
 1 inch = 40 feet



IBI GROUP
 8101 North High Street
 Suite 100
 Columbus, OH 43235
 614.614.4500
 614.614.8100
 Contact: Mike Murray Ext: 2032
 mgm@ibi.com

REVISION

SUBMISSION

DESIGN REVIEW SET
 AS BUILT DOCUMENT SET

STAMP

NOT FOR CONSTRUCTION

JOHNSTOWN, OH 43031

KYBER RUN PLAZA
 DEVELOPMENT

WEST COSHOCTON STREET

DESIGN	DRAFT	CHECK
Design	Draft	Check

IBI NO. 138754

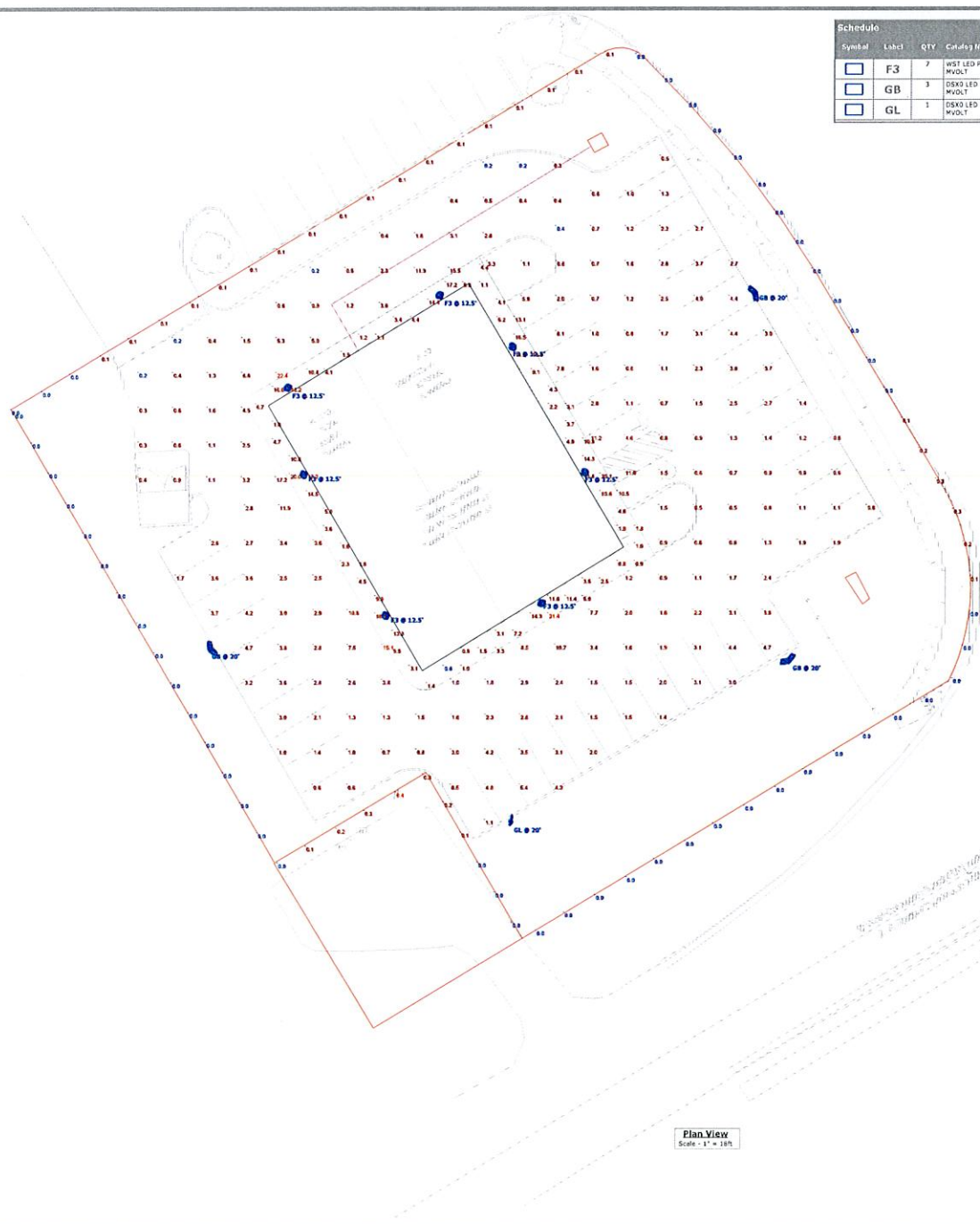
DATE APRIL, 2022

SCALE HORIZONTAL: 1" = 40'

SHEET TITLE

SITE DIMENSION
 PLAN

SHEET NO.: C200/15



Schedule									
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage
	F3	7	WST LED P3 40K VW MVOLT	WST LED Performance package 3, 4000 K, visual comfort wide, MVOLT	LED	1	6689	1	50
	GB	3	DSX0 LED P5 40K BLC MVOLT	DSX0 LED P5 40K BLC MVOLT	LED	1	9576	1	89
	GL	1	DSX0 LED P5 40K LCCD MVOLT	DSX0 LED P5 40K LCCD MVOLT	LED	1	7125	1	89

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Northern Drive	+	2.9 fc	22.4 fc	0.2 fc	112.0:1	14.5:1
Parking Lot	+	2.7 fc	15.3 fc	0.4 fc	37.8:1	6.8:1
Property Line	+	0.1 fc	0.4 fc	0.0 fc	N/A	N/A
Sidewalk	+	7.5 fc	21.4 fc	0.6 fc	35.7:1	12.5:1



URGENT CARE
JOHNSTOWN, OH
SITE PHOTOMETRICS

Designer
David Wise
Date
4/27/2022
Scale
Refer to drawing
Drawing No.
Summary

CITY OF JOHNSTOWN

STAFF REPORT - COA

Application Number: Z-22-89

Property Address: 800 W. Coshocton Street

Commission Date: 5/10/2022

Applicant: Mark Zelnik

Zoning District: GCC-2

Project Narrative:

The applicant is requesting a Certificate of Appropriateness Design Review approval for the construction of a new building at 800 W. Coshocton Street. The property is currently vacant. The applicant is proposing to construct a new structure to house an urgent care. The proposed structure is approximately 3,500 square feet, with a future building addition of 2,500 square feet planned. The applicant has proposed 25 parking spaces.

The exterior design of the building will feature natural colors in grays and browns. Windows feature along the front of the building. Blue awnings have been proposed for the front and sides of the building. A landscape plan has also been included by the applicant.

The parcel in question is in a General Community Commercial 2 zoning district and the Corridor design review district.

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